

CLINIC PLANS

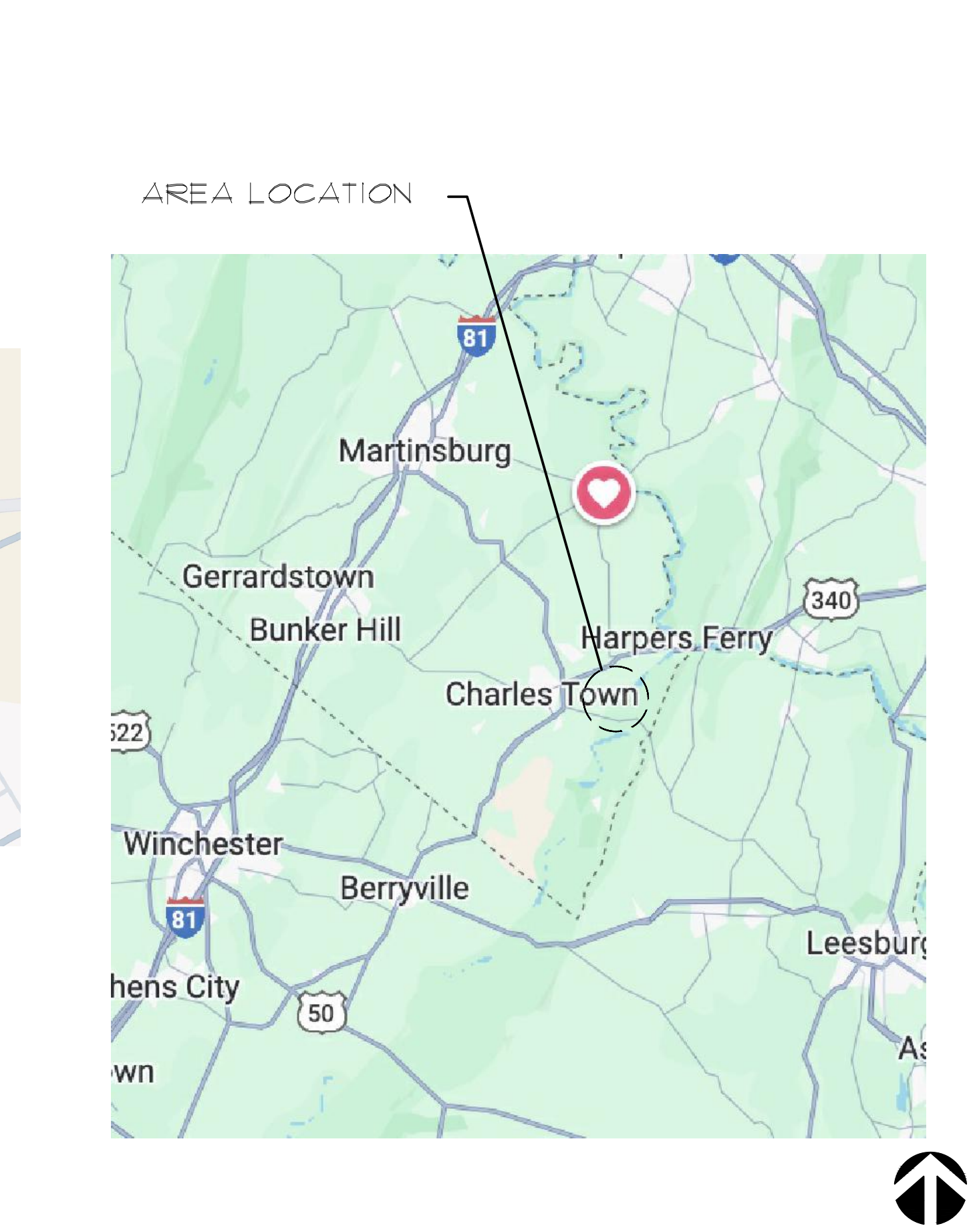
for

Jefferson County Community Ministries

202 Racetrack Street
Ranson, West Virginia

SEWER CHARLES TOWN UTILITY BOARD 661 S. GEORGE STREET CHARLES TOWN, WV 254140 INSTALLATION AND INSPECTION CONTACT: PHONE: (304)725-2311	NOT USED
WATER CHARLES TOWN UTILITY BOARD 661 S. GEORGE STREET CHARLES TOWN, WV 254140 INSTALLATION AND INSPECTION CONTACT: PHONE: (304)725-2311	NOT USED
GAS THOMPSON GAS BOONESBORO, MARYLAND PHONE: (800) 834-2070	NOT USED
ELECTRIC POTOMAC EDISON HAGERSTOWN, MARYLAND 25301 CONTACT: PHONE: (888)710-4237	
TELEPHONE/INTERNET (COMPANY) (ADDRESS) (CITY, STATE, ZIP) CONTACT: PHONE:	NOT USED
UTILITY CONTACTS	

GENERAL DRAWING SYMBOLS



LEGAL JURISDICTION: CITY OF RANSON -- JEFFERSON COUNTY, WEST VIRGINIA
BUILDING CODES: IBC 2018, IPC 2018, IMC 2018, NEC 2020 NFPA 70, 2010 ASHRAE 90.1
BUILDING AREA: 1,920 SQ. FT. CLINIC SPACE
TOTAL PROJECT AREA: 1,920 SQ. FT. (FIRST LEVEL ONLY)
OCCUPANCY: COMMERCIAL, GROUP 'B'
CONSTRUCTION - TYPE III, UNPROTECTED MATERIALS: CONCRETE MASONRY UNITS, LIMITED SIDING
ELECTRIC SERVICE: 300 AMPS / 1 PHASE / 120-208 VOLT
WATER PRESSURE (IF USED): 45-50 PSI MIN. @ BLDG. POINT OF ENTRY (IDEAL - DETERMINED BY SERVICE)
NON-SPRINKLERED PER WV STATE FIRE CODE, 87 CSR1, TABLE 2.2A

PROJECT SUMMARY

REVISIONS	A	A	A	A	A	A	A	A	A
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TITLE/SITE T1.0 TITLE SHEET
SITE SEE CIVIL/SITE DRAWINGS

ARCHITECTURAL
DE1.0 EXISTING FLOORPLAN
DE1.1 EXTERIOR DEMOLITION ELEVATIONS
LS1.0 LIFE SAFETY PLAN
A1.0 PROPOSED BUILD OUT PLAN - FINISH SCHEDULE
A1.1 EXTERIOR RENOVATIONS - DOOR SCHEDULE
A1.2 FRAMING DETAILS
E1.0 LIGHTING and POWER PLANS

SHEET INDEX

- ALL WORK SHALL CONFORM TO THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE COUNTY OF BERKELEY.
- IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED, THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE APPLICABLE TO THESE CONTRACT DOCUMENTS.
- DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER, IN WRITING, PRIOR TO INSTALLATION.
- G.C. IS RESPONSIBLE FOR SUBMITTAL, PAYING FEES AND OBTAINING ALL PERMITS ASSOCIATED WITH THE PROJECT INCLUDING GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, CERTIFICATE OF OCCUPANCY OR OTHER RELATED PERMITS. OWNER WILL PAY FOR "CONNECTION FEES" ASSOCIATED WITH UTILITY PERMITS. G.C. REQUIRED TO PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- G.C. SHALL PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE DRAWING SET AT TIME OF CONSTRUCTION.
- IT IS THE G.C.'S RESPONSIBILITY TO CONFIRM THE AVAILABLE "RESIDUAL" WATER PRESSURE, PRIOR TO THE START OF ANY WORK, AND NOTIFY THE OWNER IF THE AVAILABLE PRESSURE IS NOT ADEQUATE TO SERVICE THE SYSTEM OR OTHER PRESSURE SENSITIVE EQUIPMENT.
- G.C. SHALL CONFIRM MINIMUM RESIDUAL PRESSURE AVAILABLE AT 33 PSI.
- ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- ALL CONTRACTORS SHALL VISIT THE SITE TO BECOME FAMILIAR WITH CONDITIONS AFFECTING THE SCOPE OF WORK. NO CONTRACT ADJUSTMENTS WILL BE PERMITTED DUE TO THE LACK OF KNOWLEDGE OF SITE CONDITIONS.

PROJECT GENERAL NOTES

PROJECT LOCATION: JEFFERSON COUNTY, WV
2015 IECC CLIMATE ZONE: 4A
I MINIMUM R-VALUE, ROOF - R-30
II MINIMUM R-VALUE, ATTIC - R-38
III MINIMUM R-VALUE, WALL ABOVE GRADE - R-20
IV MINIMUM R-VALUE, UNHEATED SLAB-ON-GRADE - N/A

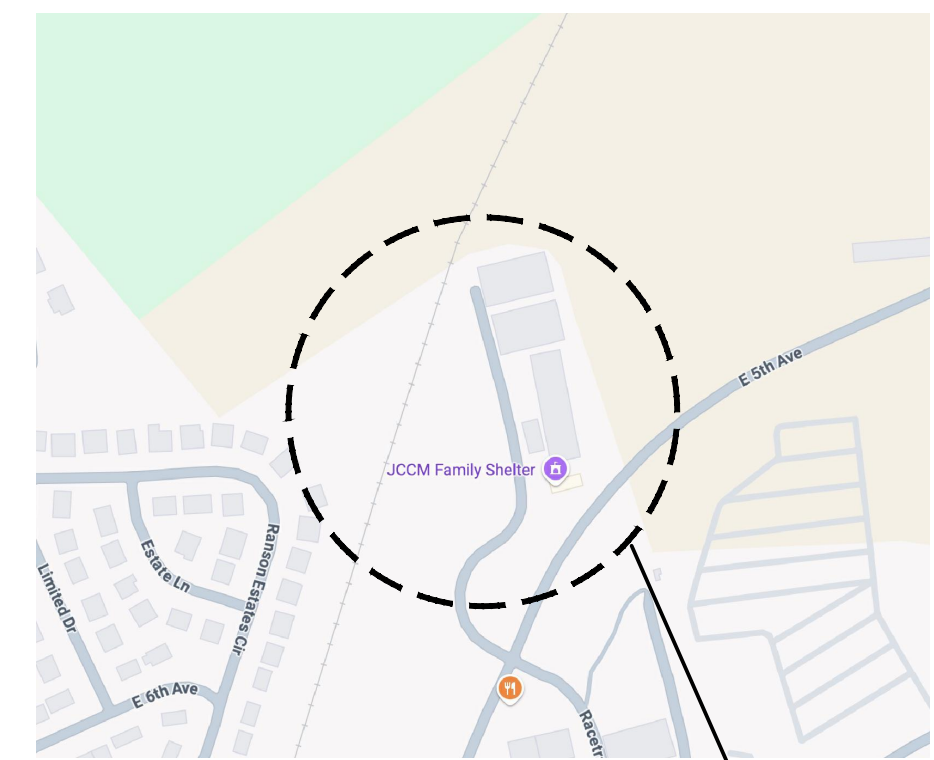
PROJECT ENERGY NOTES

DESIGN LOADS:

FLOOR LIVE LOAD 40 PSF GROUND SNOW LOAD 30 PSF
WIND LOAD 115 MPH 3-SECOND GUSTS, EXP. B

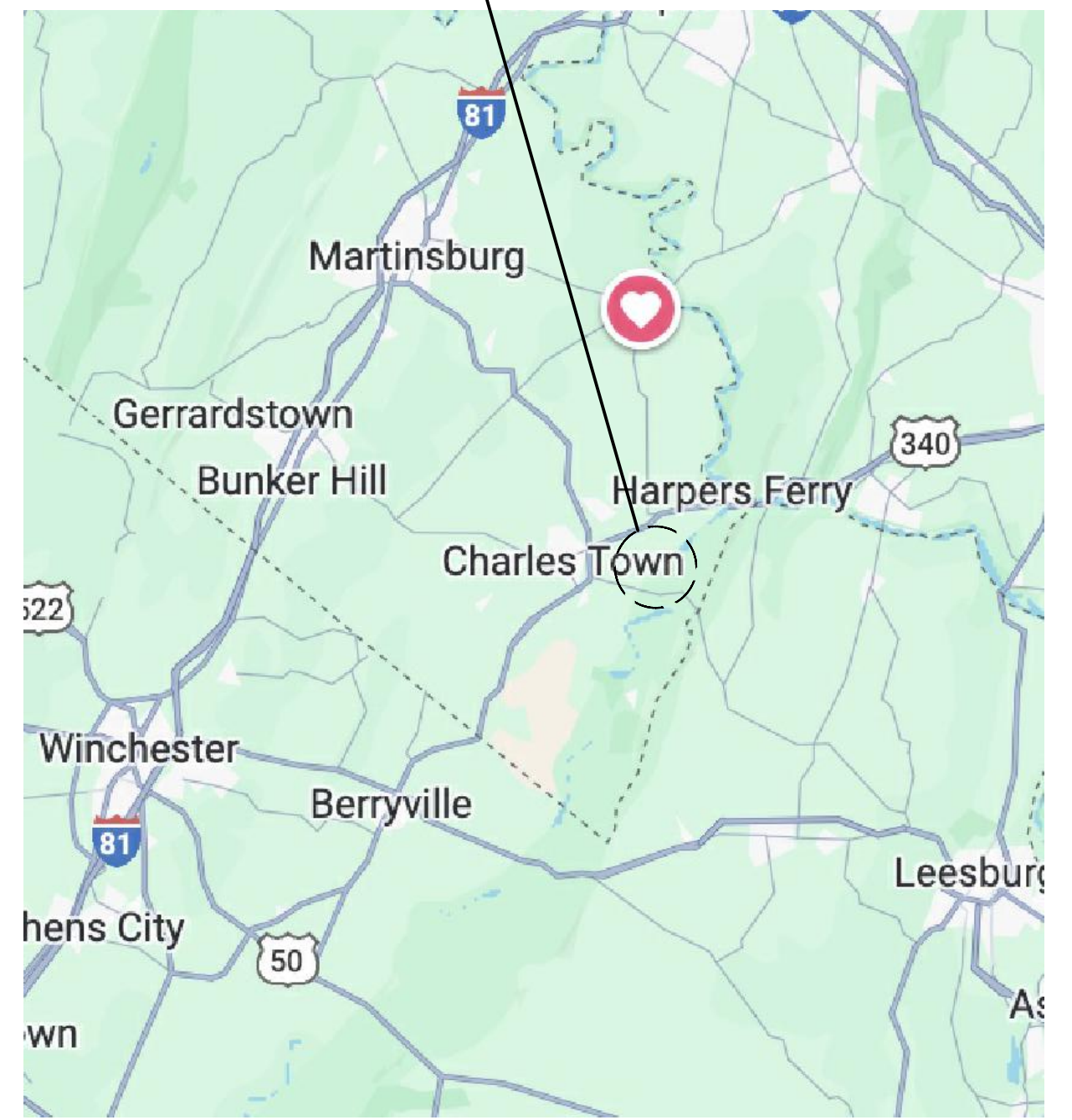
- ALL WORK NOT SPECIFICALLY NOTED OTHERWISE SHALL BE PERFORMED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED, FIRM NATURAL SOIL OR COMPACTED FILL CAPABLE OF SUPPORTING A DESIGN BEARING PRESSURE BETWEEN 1,500 and 2,000 PSF.
- ALL CONCRETE SHALL BE A MINIMUM OF 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. EXTERIOR SLABS SHALL BE 3500 PSI AND AIR-ENTRAINED. ALL SLABS-ON-GRADE SHALL BE SUPPORTED ON NATURAL SOILS OR APPROVED COMPACTED FILL.
- ALL HOLLOW LOAD-BEARING MASONRY SHALL CONFORM TO ASTM C90. ALL SOLID UNITS SHALL CONFORM TO C145. MINIMUM NET COMPRESSIVE STRENGTH F'M SHALL BE 1800 PSI. ALL MASONRY UNITS SHALL BE TYPE 1 UNITS (GRADE N-1).
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. REINFORCING BARS, INCLUDING HOOKS AND BENDS, SHALL BE DETAILED IN ACCORDANCE WITH ACI 315.
- STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE AND SPECIFICATION. BEAMS SHALL CONFORM TO ASTM A-992. PLATES, BARS AND ANGLES SHALL CONFORM TO ASTM A-36. ANCHOR BOLTS SHALL CONFORM TO ASTM A-36 OR A-307. PIPE SHALL CONFORM TO ASTM A-53, GRADE B.
- ALL S4S LUMBER SHALL BE #2 SPF OR #2 SYP OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19%. EXPOSED FRAMING LUMBER SHALL BE PRESSURE-TREATED #2 SYP.
- ENGINEERED LUMBER SHALL BE EQUAL OR SUPERIOR TO THE SIZES AND CAPACITIES SPECIFIED ON THE PLANS AS MANUFACTURED BY TRUSJOIST. LAMINATED VENEER LUMBER SHALL HAVE FB=2600 PSI AND E=1,900,000 PSI. JOISTS SHALL BE DESIGNED FOR A MAXIMUM L/480 LIVE LOAD DEFLECTION AND L/360 TOTAL LOAD DEFLECTION. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING STORAGE, HANDLING AND INSTALLATION OF WOOD PRODUCTS.
- PREFABRICATED WOOD TRUSSES IF APPLICABLE SHALL BE DESIGNED FOR A 30 PSF GROUND SNOW LOAD, AND FABRICATED IN ACCORDANCE WITH AN ENGINEERING DESIGN BEARING THE SEAL AND SIGNATURE OF AN ENGINEER REGISTERED IN THE STATE OF WV.
- TYPICAL WALL BRACING, UNLESS OTHERWISE NOTED ON THE PLANS, USES THE 2018 IRC BRACED WALL PANEL CONSTRUCTION METHOD "CS-WSP," AS SPECIFIED IN SECTION R602.10.4. ALL ALL WALL SHEATHING EDGES SHALL BE FASTENED TO SOLID BLOCKING. SHEATHING SHALL BE NAILED WITH 8D NAILS, 6" O.C. ON PANEL EDGES AND 8" O.C. ON PANEL INTERIOR.

PROJECT STRUCTURAL NOTES



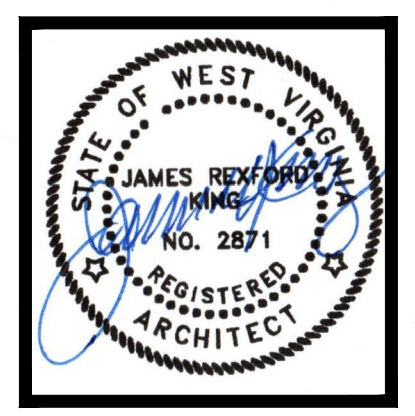
SITE LOCATION

AREA LOCATION



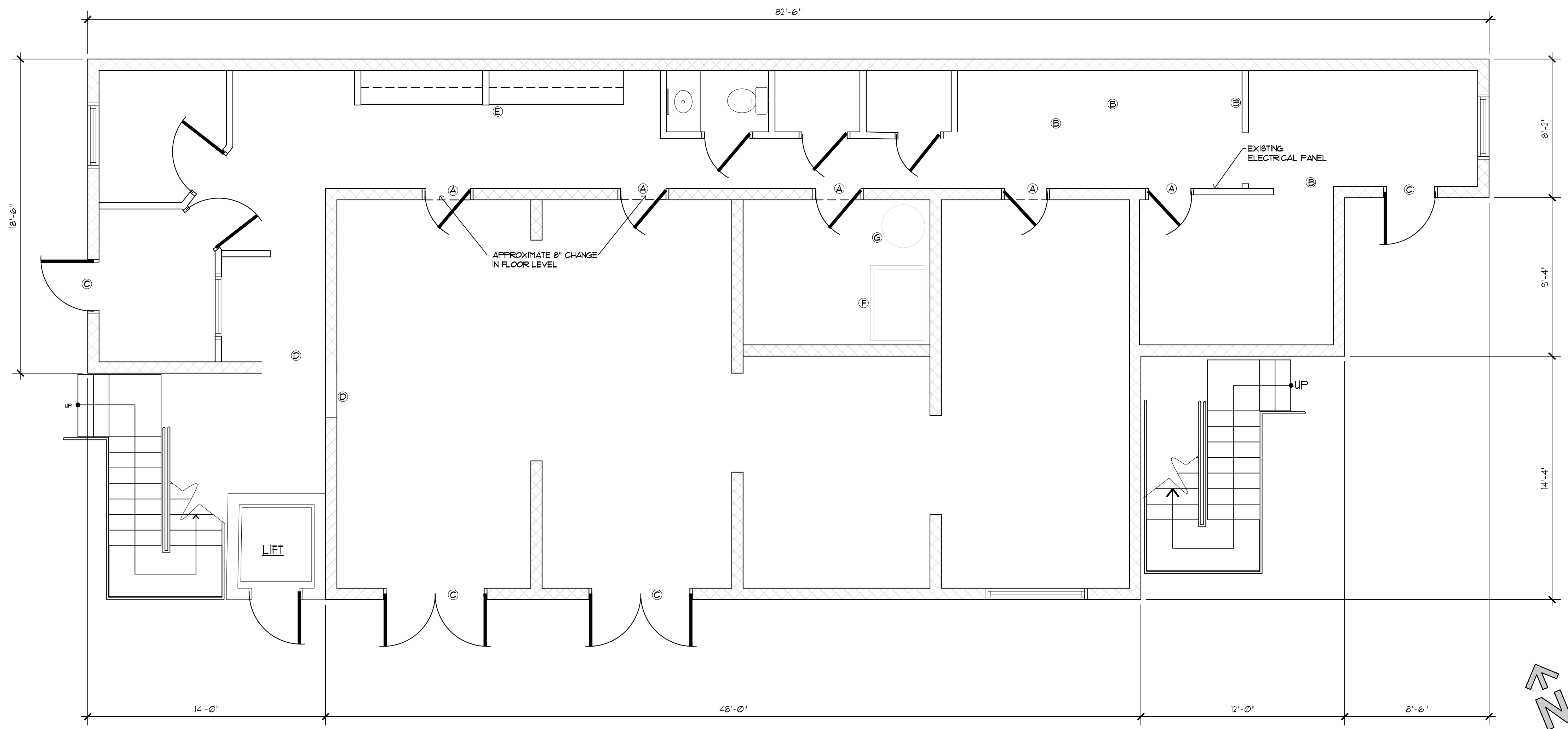
VICINITY MAP

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DRAWN	CHECKED
J.KING	AS NOTED
DATE	SCALE
07/24/2020	AS NOTED
PROJECT NUMBER	
24-08	
CAD FILE NO.	
FILE NO.	
DRAWING NUMBER	
T1	



DEMOLITION NOTES

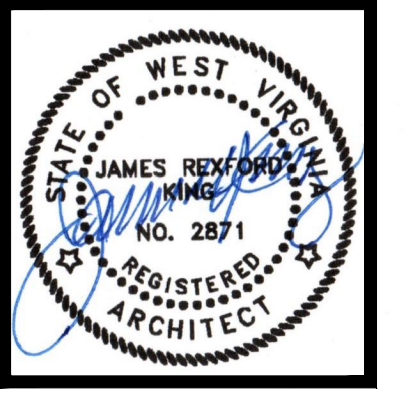
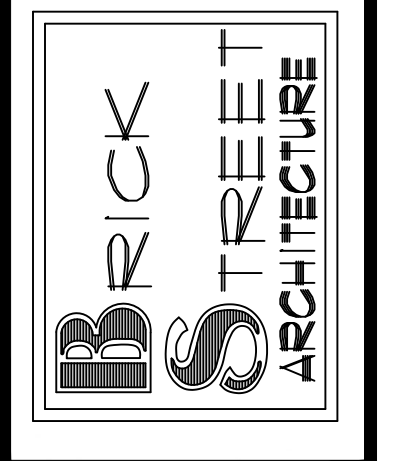
- (A) Remove existing interior door and frame
- (B) Remove existing walls
- (C) Remove existing exterior door and frame
- (D) Cut openings in existing CMU wall to accommodate new passage
- (E) Remove existing cabinetry and sink
- (F) Remove existing HVAC unit
- (G) Remove existing hot water tank if necessary

General Demolition Notes

- Contractor to carefully remove all items indicated, taking care to avoid damage to existing, adjacent construction.
- Contractor to properly dispose of old framing, insulation, GWB and other items associated with scope of demolition.
- Any items removed from existing construction worthy of recycling shall be separated and recycled properly.
- All existing exterior walls to remain.
- Contractor to assess condition of existing electrical and plumbing. Contractor to address any items requiring replacement and/or upgrades to satisfy current code requirements. Otherwise, existing systems shall remain.

1
DE1.0
SELECTIVE DEMOLITION FLOORPLAN
Scale: 1/4" = 1'-0"

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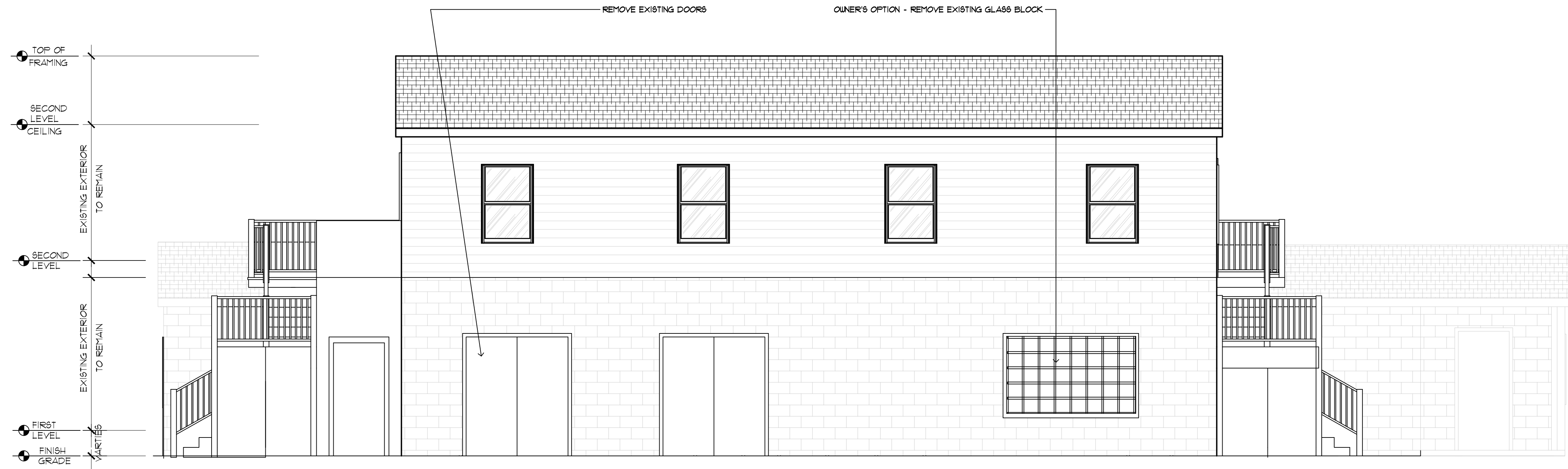


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DEMOLITION FLOORPLAN

PROPOSED RENOVATION PLANS
for
JEFFERSON COUNTY
COMMUNITY MINISTRIES
202 RACETRACK STREET CLINIC
RANSON, WEST VIRGINIA

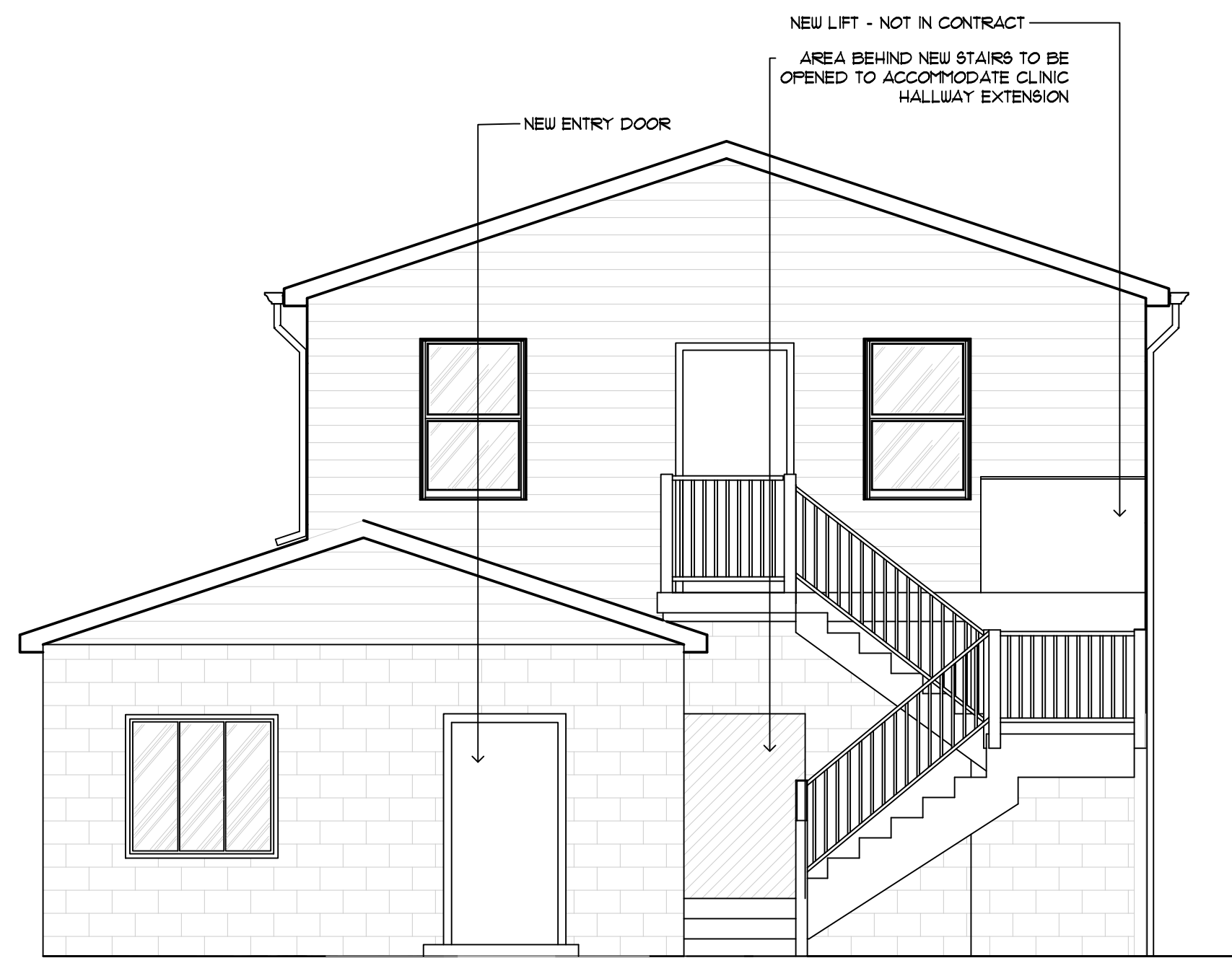
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DATE	SCALE
01/15/2025	AS NOTED
PROJECT NUMBER	
2025-01	
JOB FILE NO.	
FILE NO.	
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1
D.I.

EXISTING FACADE - EAST ELEVATION

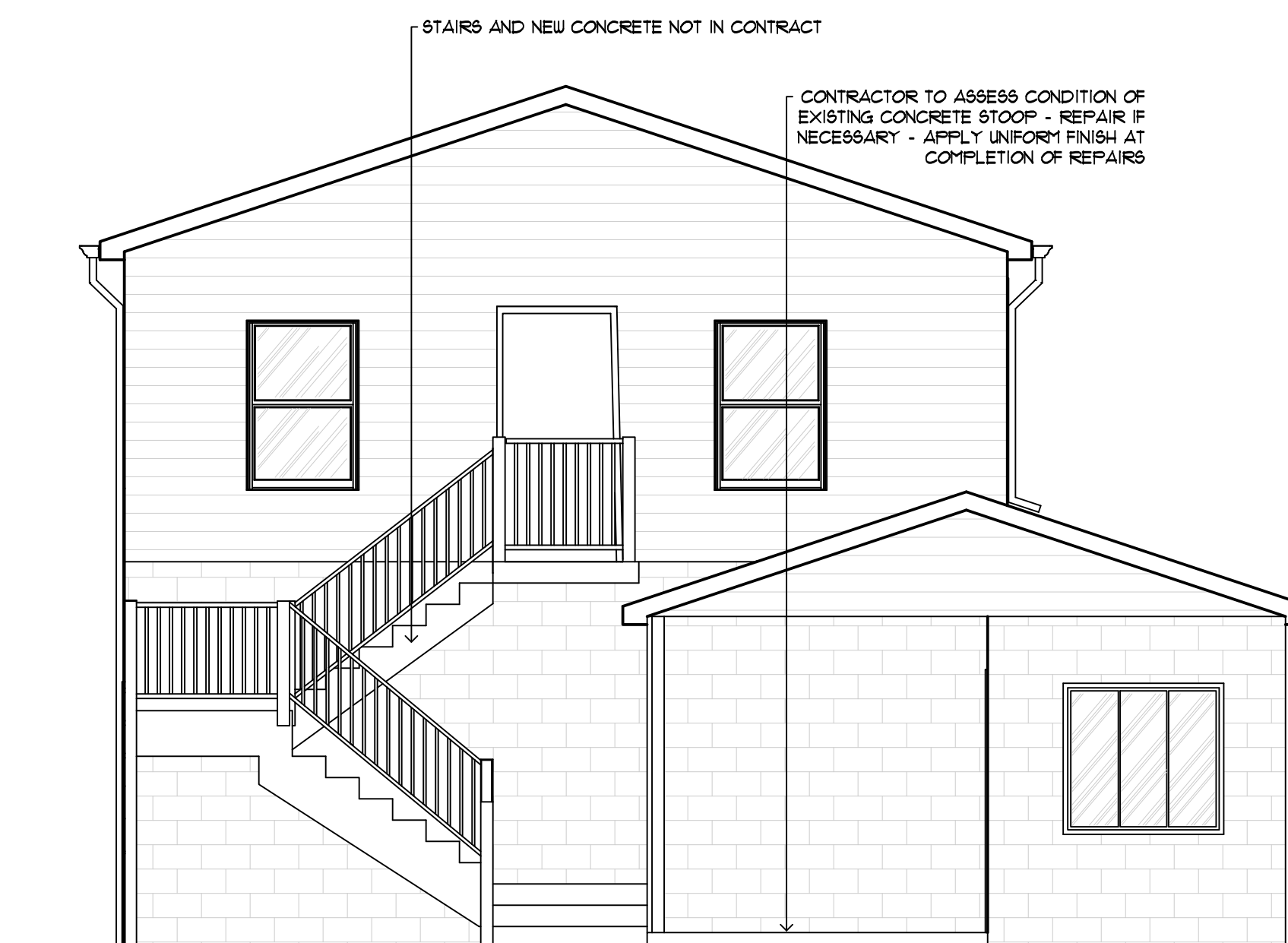
Scale: 1/4" = 1'-0"



2
D.I.

EXISTING FACADE - SOUTH ELEVATION

Scale: 1/4" = 1'-0"



3
D.I.

EXISTING FACADE - NORTH ELEVATION

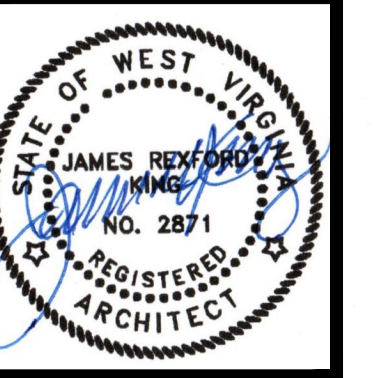
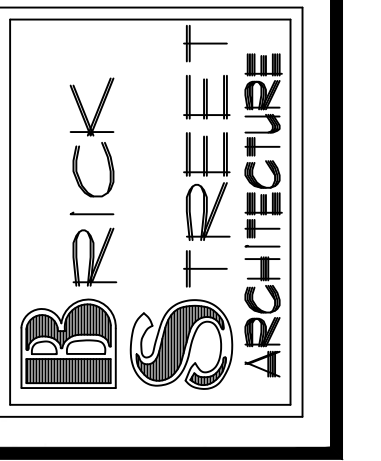
Scale: 1/4" = 1'-0"

General Demolition Notes

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- Contractor to properly dispose of old framing, insulation, GWB and other items associated with scope of demolition.
- Any items removed from existing construction worthy of recycling shall be separated and recycled properly.
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- Contractor to assess condition of existing electrical and plumbing. Contractor to address any items requiring replacement and/or upgrades to satisfy current code requirements. Otherwise, existing systems shall remain.

DEMOLITION NOTES

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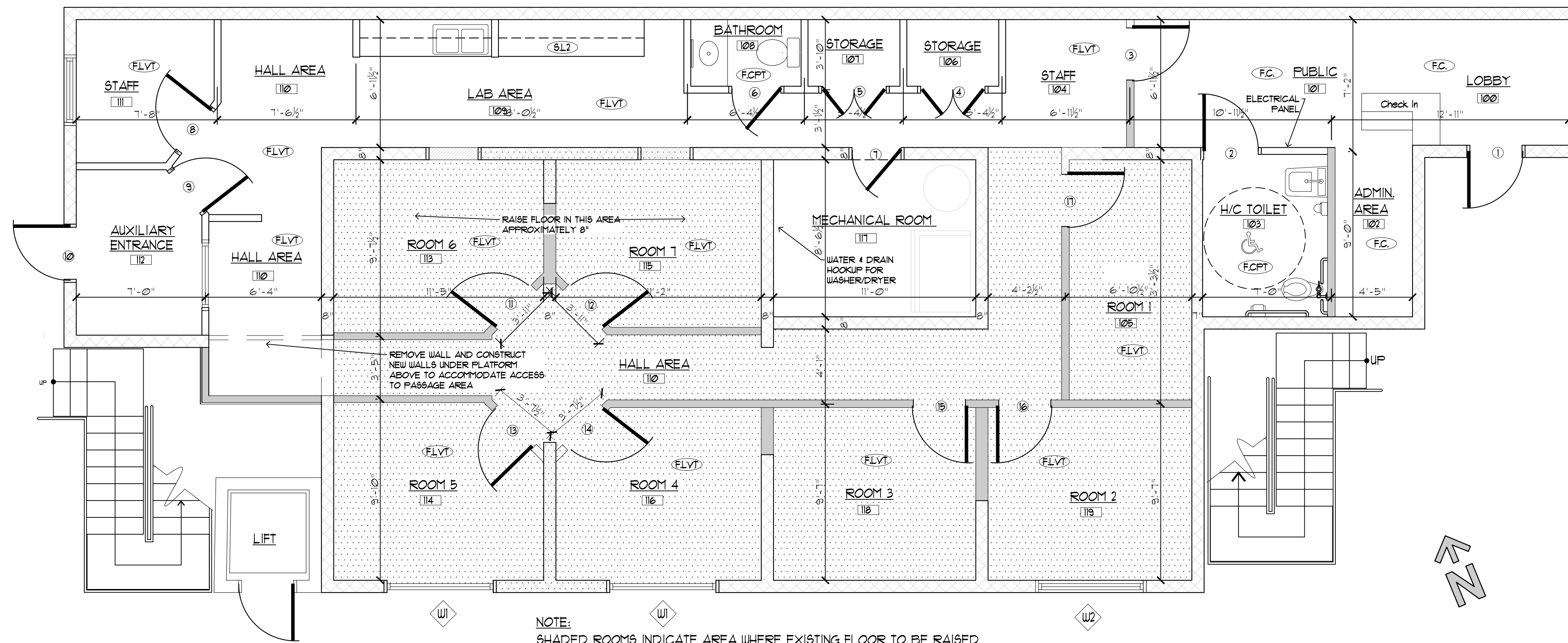
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DEMOLITION
ELEVATIONS

PROPOSED RENOVATION PLANS
for
JEFFERSON COUNTY
COMMUNITY MINISTRIES
202 RACETRACK STREET CLINIC
RANSON, WEST VIRGINIA

DRAWN J.KING	CHECKED A.S.MOYER
DATE 01/15/2025	SCALE AS NOTED
PROJECT NUMBER 2025-01	
JOB FILE NO. FILE NO.	
DRAWING NUMBER DRAWING NUMBER	

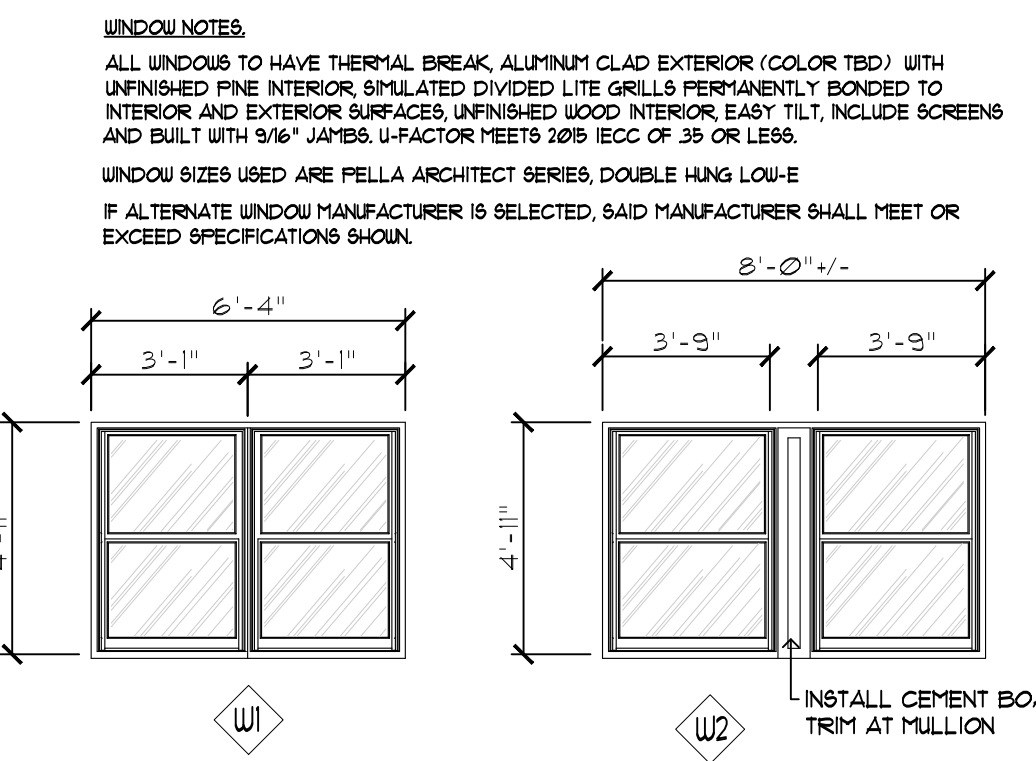
DE1.1



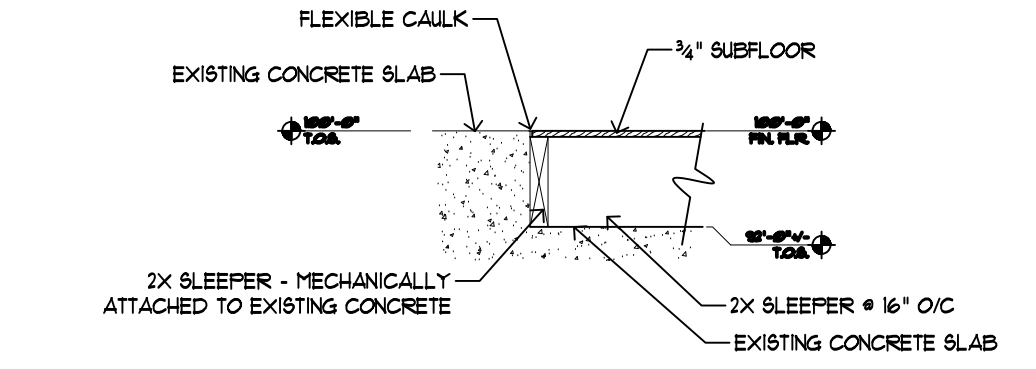
1
A1.0
CLINIC RENOVATION FLOORPLAN
Scale: 1/4" = 1'-0"

- KEYED NOTES
- Refer to demolition plan for walls to be removed and those to remain.
 - All hot and cold water plumbing lines to be replaced.
 - Contractor to verify integrity of interior sanitary sewer lines. Replace and/or repair as necessary.
 - Contractor to verify integrity and compliance of existing electrical.
 - Replace and/or repair electrical as necessary.
 - Contractor remove existing HVAC system.
 - Contractor to remove existing ductwork.
 - Where newwalls are installed, contractor to install new GWB, insulation, and lighting as noted.
 - Units to receive new paint throughout. Color TBD by owner.
 - Contractor to replace existing flooring as noted.
 - All wall insulation to have a value of no less than R-20.
 - See detail for hallway extension
 - All ceilings to be 5/8" Firecode 'C' core GWB

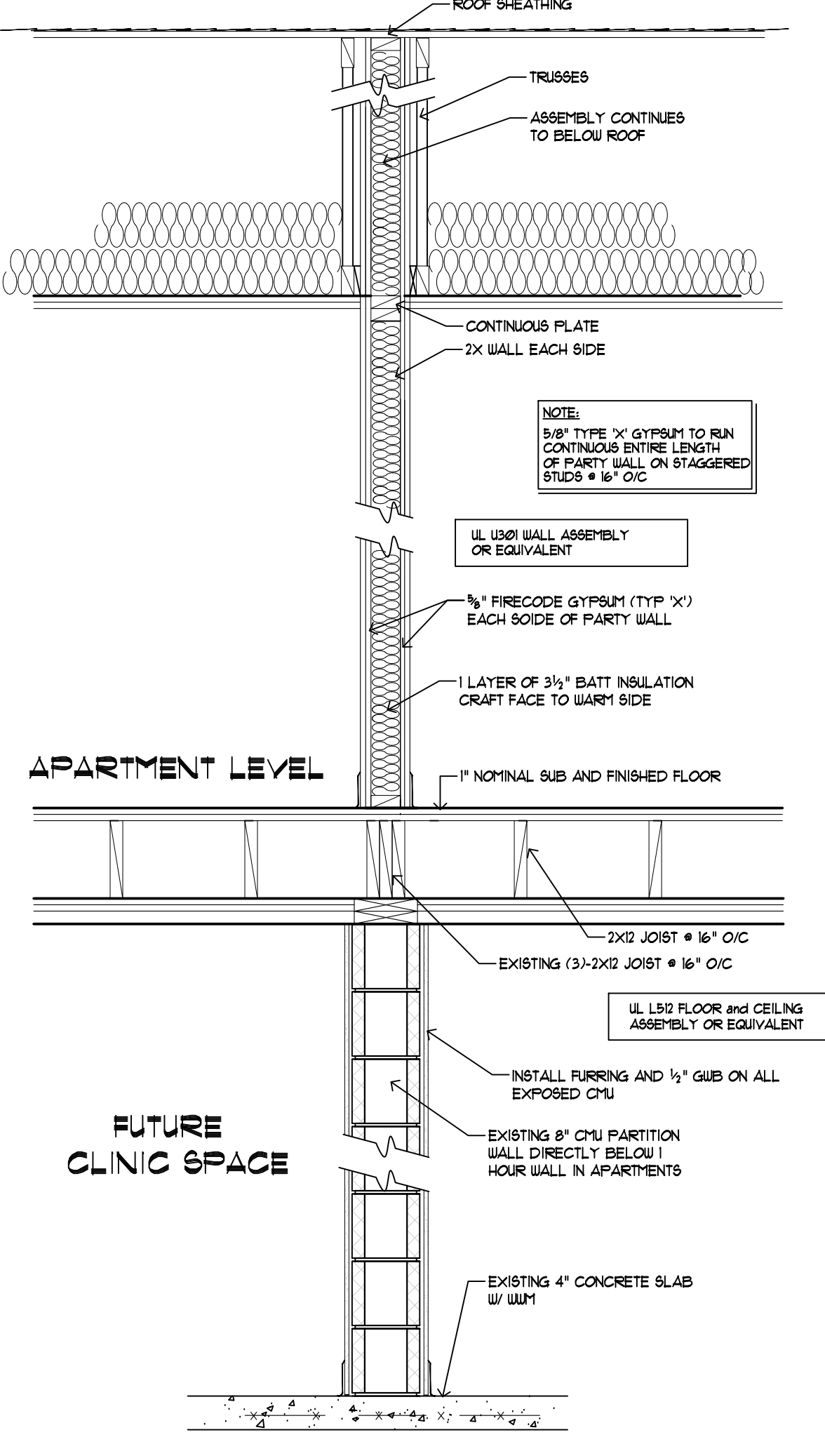
WINDOW	ROUGH OPENING	FINISH MATERIAL	MFG	MODEL NUMBER	FINISHED OPENING	GLASS	UNITES	REMARKS
①	(2) 3'-11" X 4'-11"	WOOD	PELLA	PELLA-3801	6'-4" X 4'-11"	LOW E	...	CUSTOM MULLION
②	(2) 3'-9" X 4'-11"	WOOD	PELLA	PELLA-3801	8'-0" X 4'-11"	LOW E	...	CUSTOM MULLION



2
A1.0
WINDOW SCHEDULE
Scale: 1/4" = 1'-0"



3
A1.0
SLEEPER DETAIL
Scale: 3/4" = 1'-0"



4
A1.0
1 HOUR RATED WALL DETAIL
Scale: 3/4" = 1'-0"

ROOM FINISH SCHEDULE

ROOM	FLOORING								WALL				CEILING SURFACES				REMARKS	
	LUXURY VINYL TILE (FLVT)	CERAMIC TILE (FCPT)	CARPET TILE (FCCT)	FINISHED CONCRETE (FCN)	1	2	3	4	WUP	WPT	CFB	SL1	SL2	1	2	3		4
LOBBY																		
PUBLIC																		
ADMIN AREA																		
H/C TOILET																		OWNER'S OPTION - CERAMIC TILE 4'-0" AFF TO BE SELECTED BY TENANT
STAFF																		
EXAM ROOM #1																		
STORAGE																		INSTALL SHELVING & HDUE. AS DIRECTED BY OWNER
STORAGE																		INSTALL SHELVING & HDUE. AS DIRECTED BY OWNER
BATHROOM																		OWNER'S OPTION - CERAMIC TILE 4'-0" AFF TO BE SELECTED BY TENANT
LAB																		COUNTERS & BACKSPLASH TO BE SELECTED BY OWNER
HALLWAY																		
STAFF																		
AUXILIARY ENTRANCE																		
EXAM ROOM #6																		
EXAM ROOM #5																		
EXAM ROOM #1																		
EXAM ROOM #4																		
MECHANICAL ROOM																		
EXAM ROOM #3																		
EXAM ROOM #2																		

- GENERAL NOTES:
- COLOR SELECTIONS FOR ALL FINISHES SHALL BE DETERMINED BY OWNER.
 - ALL DOOR TRIM SHALL BE PAINTED. PAINT COLOR SHALL BE SELECTED BY OWNER.
 - COLOR AND TYPE OF BASE TO BE COORDINATED WITH OWNER.
 - ALL NEW APPLIANCES AND EQUIPMENT SHALL BE BY TENANT.
 - PAINT COLOR SELECTIONS SHALL BE DETERMINED BY OWNER.
 - INSTALL NEW LIGHT FIXTURES IN ALL ROOMS, EXCEPT AS DIRECTED BY OWNER. NEW LIGHT FIXTURE TYPES SHALL BE DETERMINED BY OWNER OR TENANT.
 - INSTALL NEW WOOD SHELF ORGANIZERS IN EVERY CLOSET. VERIFY TYPE AND EXACT SHELVING LOCATION W/ OWNER.
 - INSTALL MOISTURE AND MOLD RESISTANT GUB IN DAMP AREAS
 - LAB AREA CONFIGURATION TO BE DETERMINED BY TENANT

FINISH LEGEND

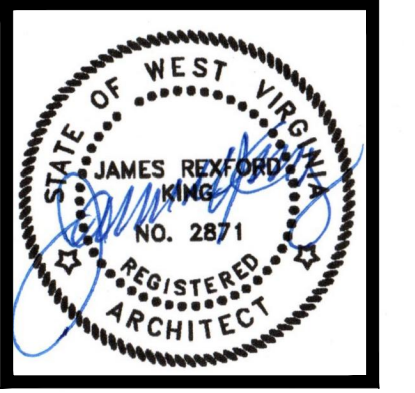
(FLVT) = LUXURY VINYL TILE	(WUP) = PAINT (COLOR TBD BY ARCHITECT)	(SL2) = SOLID SURFACING (COLOR TBD BY OWNER)
(FCPT) = CERAMIC / PORCELAIN TILE (COLOR TBD BY OWNER)	(WPT) = CERAMIC / PORCELAIN TILE (COLOR TBD BY OWNER)	
(FC) = CARPETING TILE		

PROVIDE ITEMIZED BID FOR EACH FINISH INDICATED, BY ROOM AND/OR ITEM.

5
A1.0
ROOM FINISH SCHEDULE

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BRICK STREET ARCHITECTURE



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PROPOSED FLOORPLAN

PROPOSED RENOVATION PLANS for JEFFERSON COUNTY COMMUNITY MINISTRIES 202 RACETRACK STREET CLINIC RANSON, WEST VIRGINIA

DRAWING TITLE

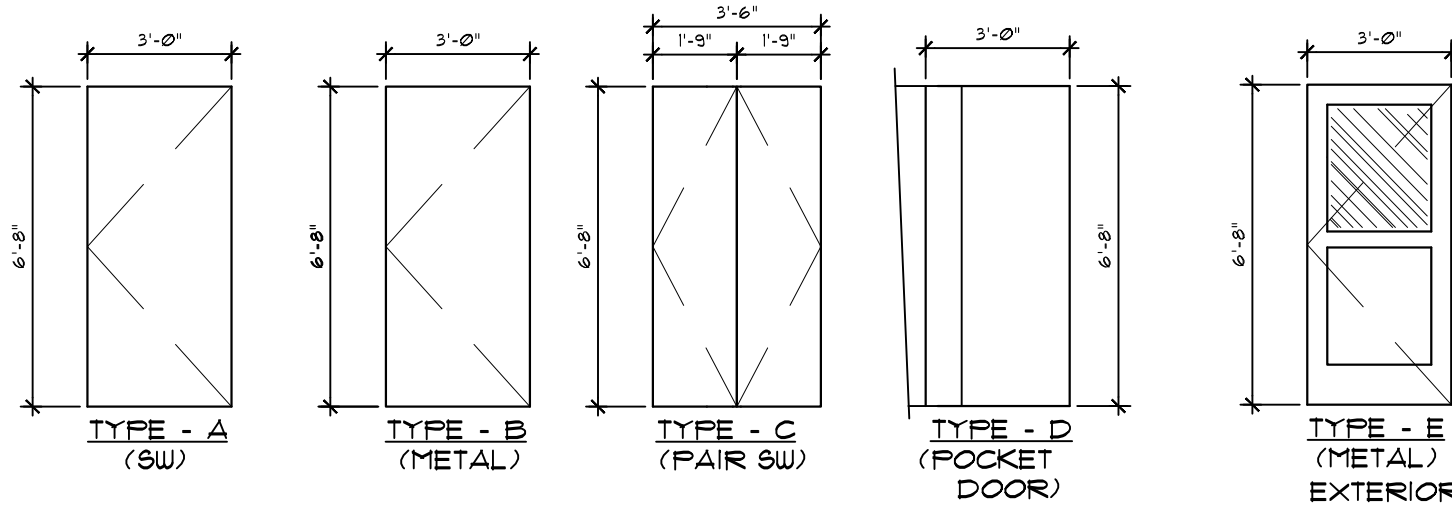
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DATE: 06/10/2024	SCALE: AS NOTED
PROJECT NUMBER: 2024-10	FILE NO: []
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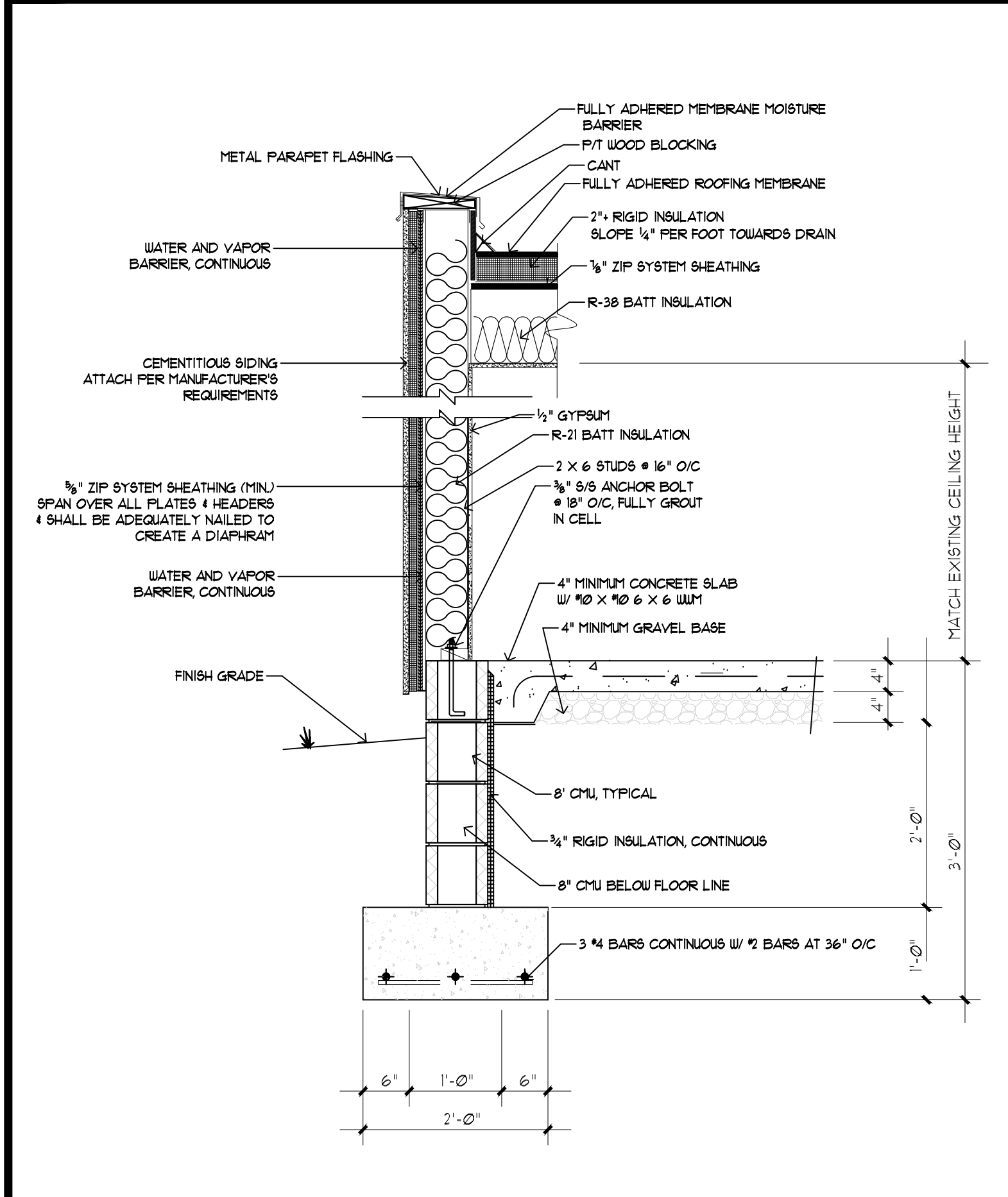
DOOR and HARDWARE SCHEDULE											
DOOR No.	DOOR TYPE	NOMINAL SIZE	FRAME		DOOR		HARDWARE				REMARKS
			MAT.		MAT.	FINISH	SET TYPE	LOCK	CLOSER	STOP	
1	E	3/0 X 6/8 X 1 3/4	MTL		MTL	PAINTED	1	YES	YES	YES	
2	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	YES	YES	
3	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	YES	
4	C	FR 1/3 X 6/8 X 1 3/4	SW		SW	STAINED WOOD	3	NO	---	YES	INCL. CLOSET HARDWARE
5	C	FR 1/3 X 6/8 X 1 3/4	SW		SW	STAINED WOOD	3	NO	---	YES	INCL. CLOSET HARDWARE
6	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	NO	---	YES	
7	B	3/0 X 6/8 X 1 3/4	MTL		MTL	MTL	1	YES	---	YES	
8	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	YES	
9	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	YES	
10	E	3/0 X 6/8 X 1 3/4	MTL		MTL	PAINTED	1	YES	YES	YES	
11	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	YES	
12	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	YES	
13	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	---	
14	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	YES	
15	B	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	---	
16	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	---	
17	A	3/0 X 6/8 X 1 3/4	MTL		SW	STAINED WOOD	1	YES	---	---	

- MED-DUTY RESIDENTIAL HARDWARE SET TYPES:**
- ① LEVER LOCKSET, 1-1/2 PAIR HINGES
 - ② LEVER W/O LOCKSET, 1-1/2 PAIR HINGES
 - ③ STANDARD CLOSET HARDWARE TO MATCH INTERIOR DOORS
 - ④ 5.5 FT. HANGING RAIL W/ SLIDING TRACK 4 FULLS
 - ⑤ STANDARD POCKET DOOR HARDWARE SET W/ LOCK TO BE SELECTED BY OWNER, MARVIN MULTI-SLIDE OR LIFT AND SLIDE TYPE
 - ⑥ ALL HARDWARE TYPES AND STYLE TO BE OF SIMILAR DESIGN

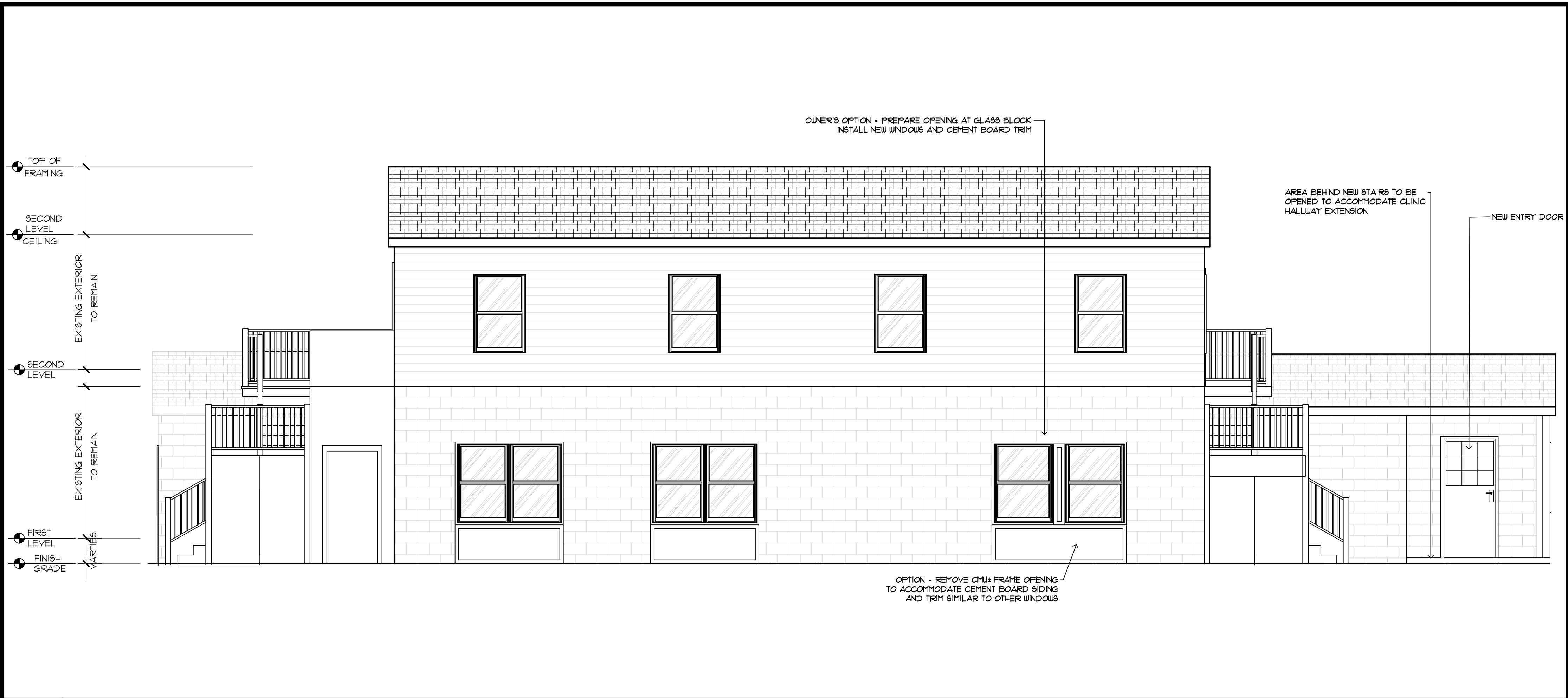
- DOOR/HARDWARE NOTES:**
- HARDWARE FINISH TO BE SELECTED BY OWNER
 - ALL INTERIOR DOORS TO BE KEYPED SAME
 - ALL EXTERIOR DOORS TO BE KEYPED SAME
 - INSTALL REMOTE KEYPAD ON ONE OVERHEAD DOOR
 - ALL OVERHEAD DOORS TO BE INSULATED
 - STYLE, TYPE AND MATERIAL TO BE DETERMINED (TBD) BY OWNER



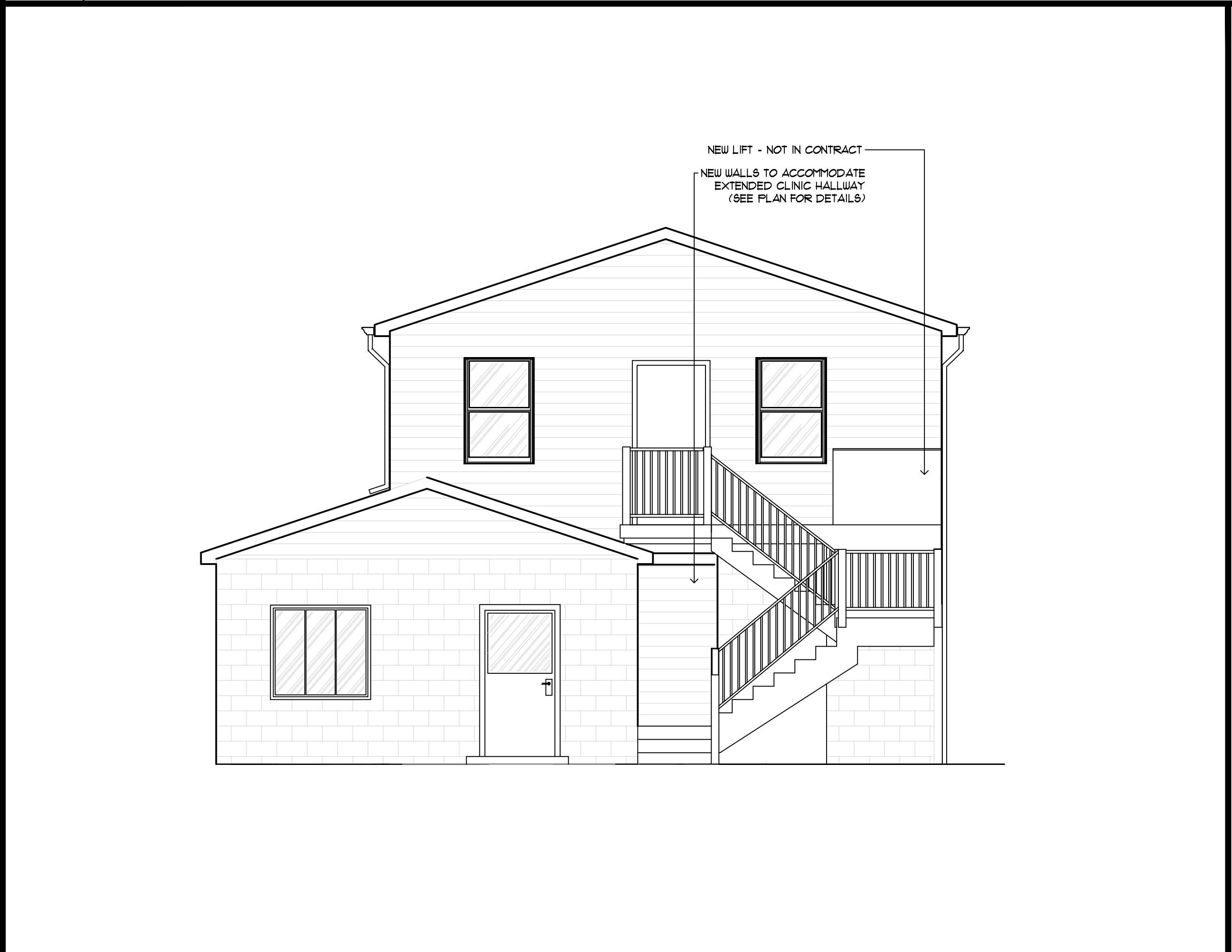
1 **ALL** DOOR TYPES and SCHEDULE
Scale: 3/4" = 1'-0"



3 **ALL** DETAIL SECTION - HALLWAY EXTENSION
Scale: 3/4" = 1'-0"



2 **ALL** RENOVATED CLINIC EAST ELEVATION
Scale: 1/4" = 1'-0"



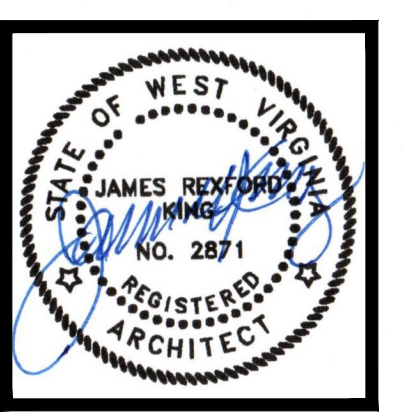
4 **ALL** RENOVATED SOUTH ELEVATION
Scale: 1/4" = 1'-0"



5 **ALL** RENOVATED NORTH ELEVATION
Scale: 1/4" = 1'-0"

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BRICK STREET ARCHITECTURE

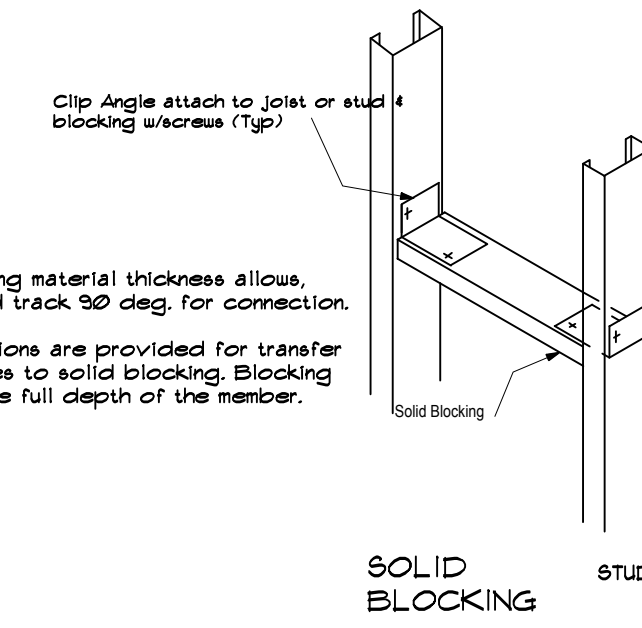
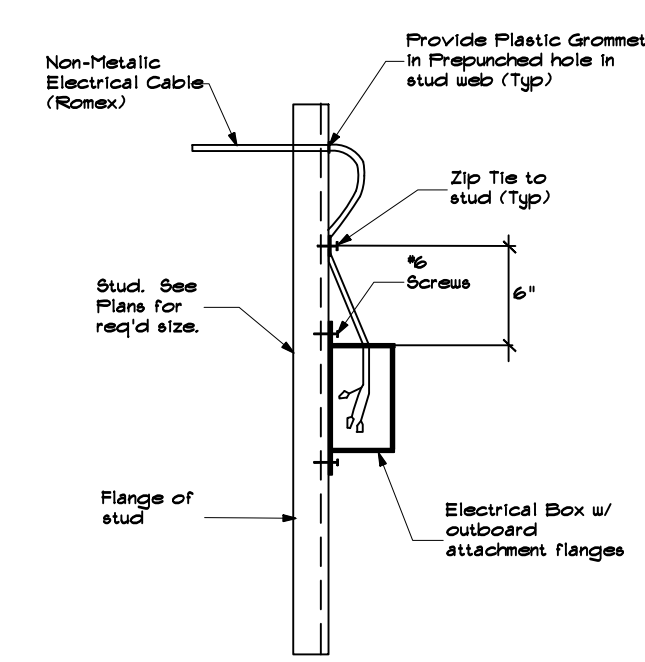
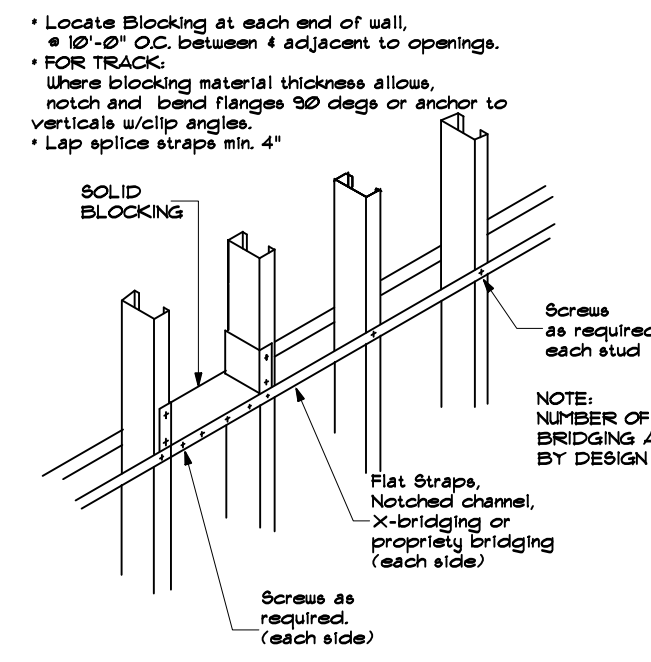
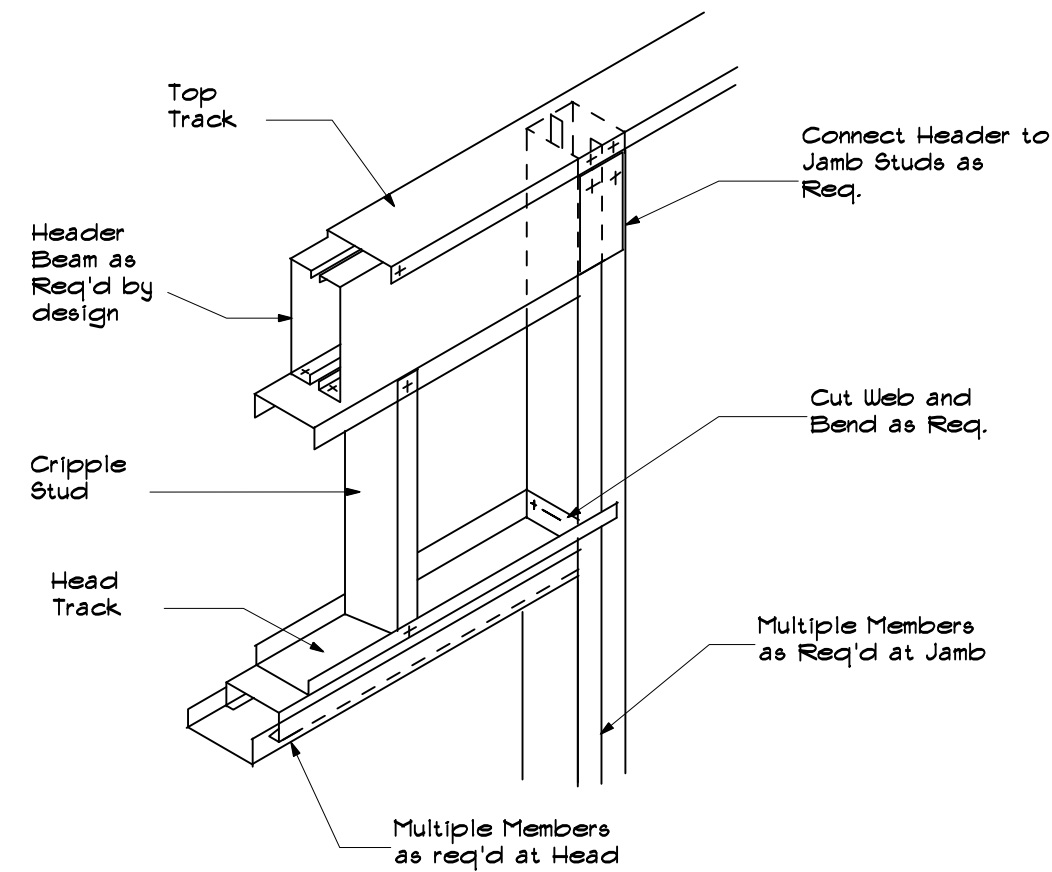
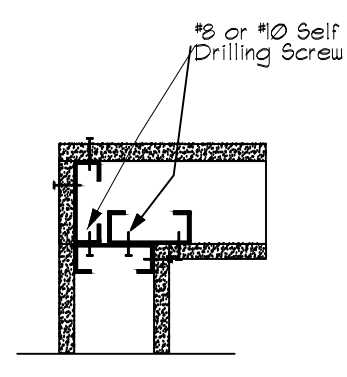
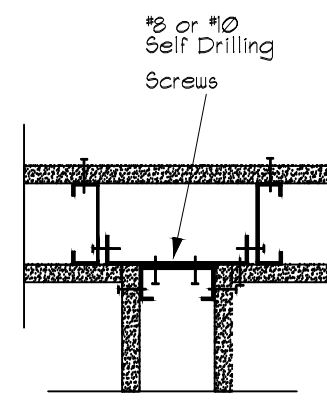


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RENOVATED ELEVATIONS

PROPOSED RENOVATION PLANS for JEFFERSON COUNTY COMMUNITY MINISTRIES 202 RACETRACK STREET CLINIC RANSON, WEST VIRGINIA

DRAWN: JKING, CHECKED: JKING, DATE: 01/15/2025, SCALE: AS NOTED, PROJECT NUMBER: 2025-01, CAD FILE NO: FILE-NO, DRAWING NUMBER: A1.1



1 ALZ FRAMING - INTERSECTION
Scale: N.T.S.

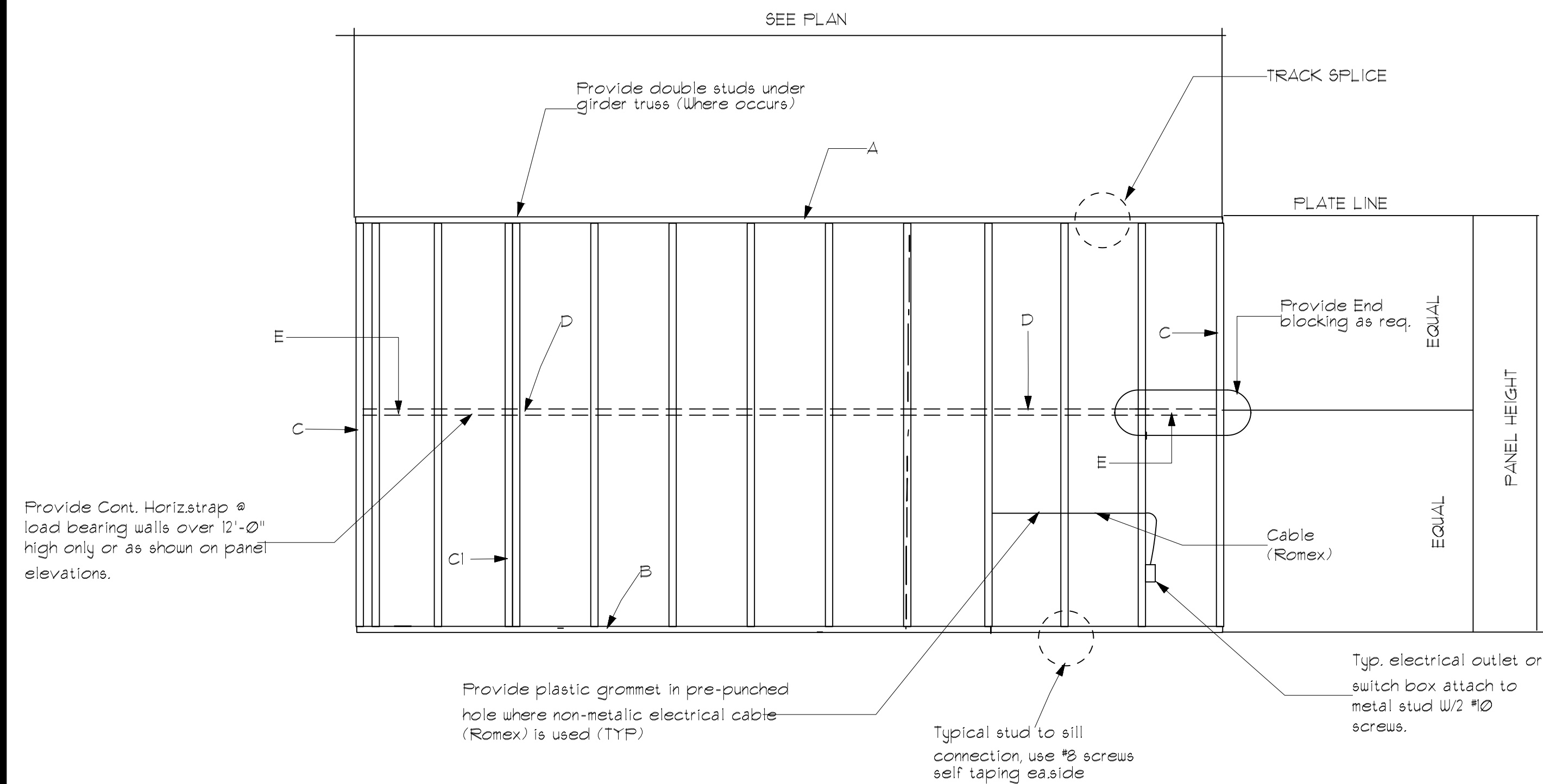
2 ALZ FRAMING - INTERIOR CORNER
Scale: N.T.S.

3 ALZ FRAMING - OPENING HEAD DETAIL
Scale: N.T.S.

4 ALZ FRAMING - WALL BRIDGING
Scale: N.T.S.

5 ALZ ELECTRICAL ATTACHMENT
Scale: N.T.S.

6 ALZ FRAMING - SOLID BLOCKING
Scale: N.T.S.

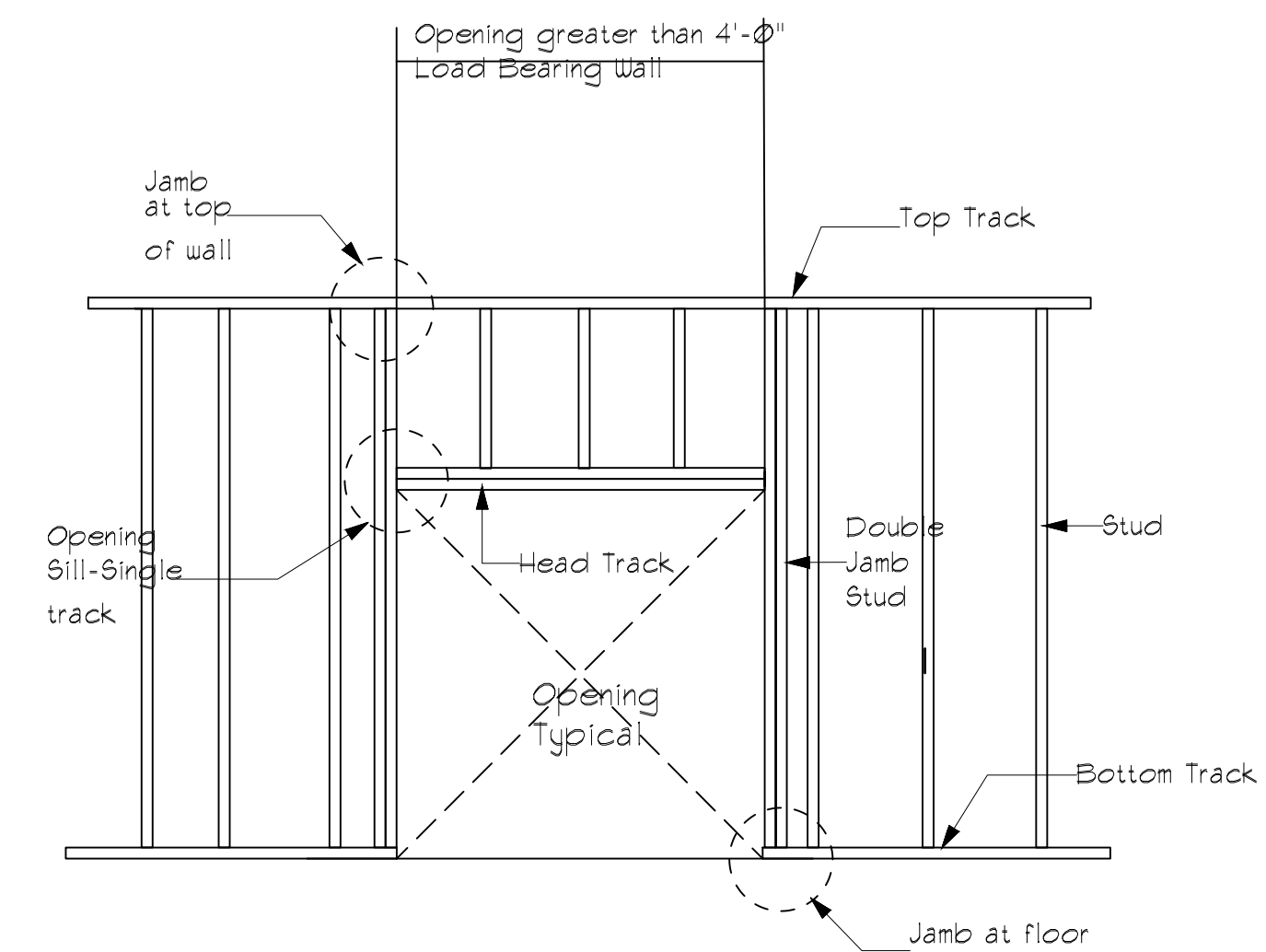
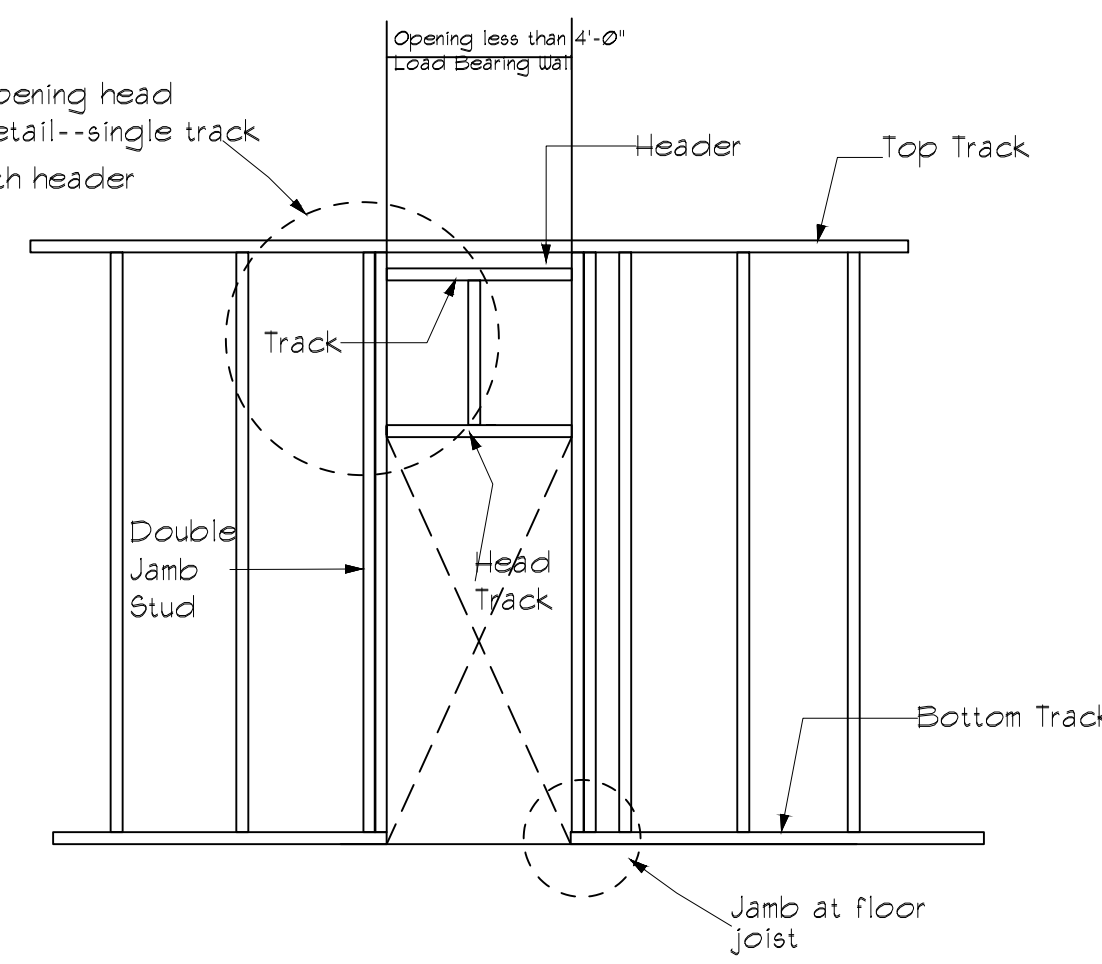


SCHEDULE

MARK	DESCRIPTION	QTY	SIZE
A	Top Track		3 1/2" x 20ga.
B	Bottom Track		3 1/2" x 20ga.
C	Stud		3 1/2" x 20ga.
Cl	Double Stud	(2)	3 1/2" x 20ga.
D	Strap		2" x 16ga.
E	Blocking		3 1/2" x 20ga.

NOTES:

- * Member sizes shown in this detail are typical except as otherwise shown on the plans or specific panel elevations.
- * All studs shall be spaced at 24" O.C. except as shown otherwise and as noted below.
- * Load bearing studs shall be spaced so as to fall directly under roof trusses/rafters or under floor joists.



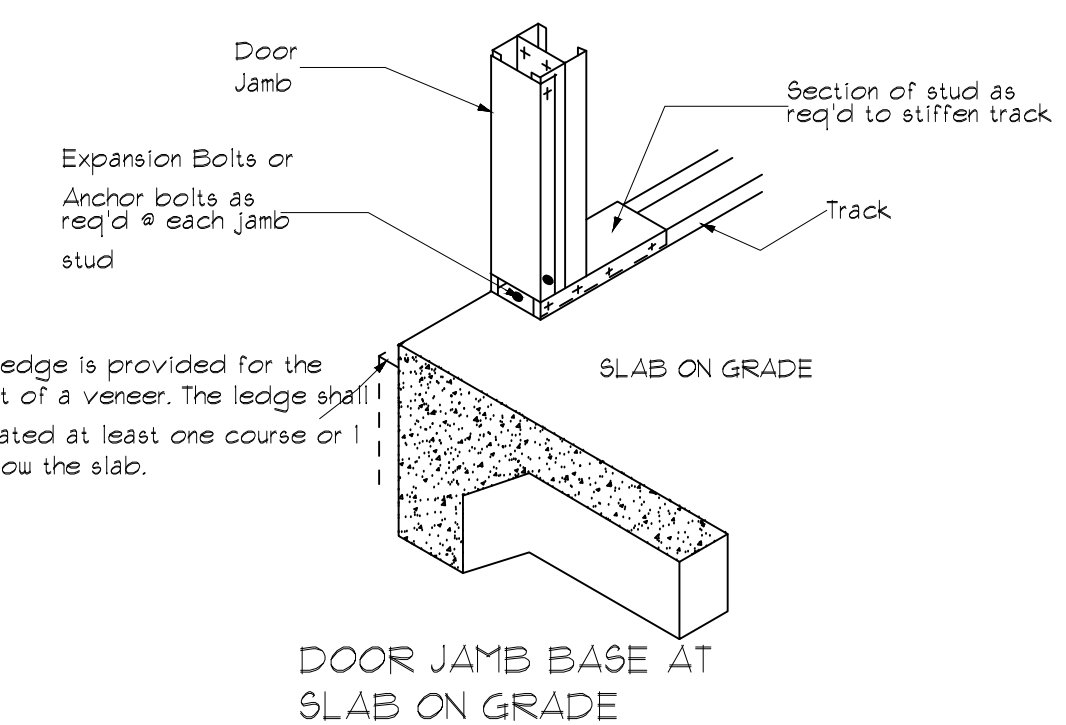
7 ALZ FRAMING - OPENING LESS THAN 4'-0"
Scale: N.T.S.

8 ALZ FRAMING - OPENING GREATER THAN 4'-0"
Scale: N.T.S.

FRAMING NOTES

1. Drawings show the intent of the desired construction, materials, layout, etc. Contractor shall proceed with project using established methods. Any changes or modifications to details to accomplish desired finished product shall be performed at no additional cost to the owner. All materials, items, etc. required to meet applicable codes and/or industry standards shall be included in the contractor's cost.
2. Details shown are assuming steel stud construction. If wood frame construction used, contractor to make necessary modifications and proceed with project following prevailing codes and ordinances.
3. All millwork supplied by others to be coordinated with contractor for specialized framing, blocking or other necessary tasks required for proper installation.
4. All finishes, fixtures, appliances and equipment shown throughout shall be selected by the owner. Contractor to make any accommodations necessary for successful installation.
5. Certain dimensions may vary according to the material used and the contractor's building methods. If variations exist between the framing details shown, or materials are used that differ from the contract documents, the contractor must advise the owner immediately.

NOTE: DOOR JAMB STUDS MAY BE TURNED FLANGE TO FLANGE THUS ELIMINATING TRACK SCREWED TO FACE OF JAMB

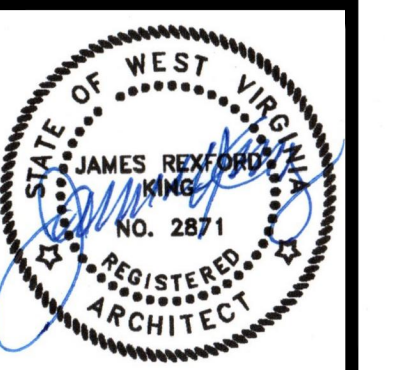


9 ALZ FRAMING - DOOR JAMB BASE AT SLAB
Scale: N.T.S.

10 ALZ TYPICAL WALL FRAMING ELEVATION
Scale: N.T.S.

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BRICK STREET ARCHITECTURE

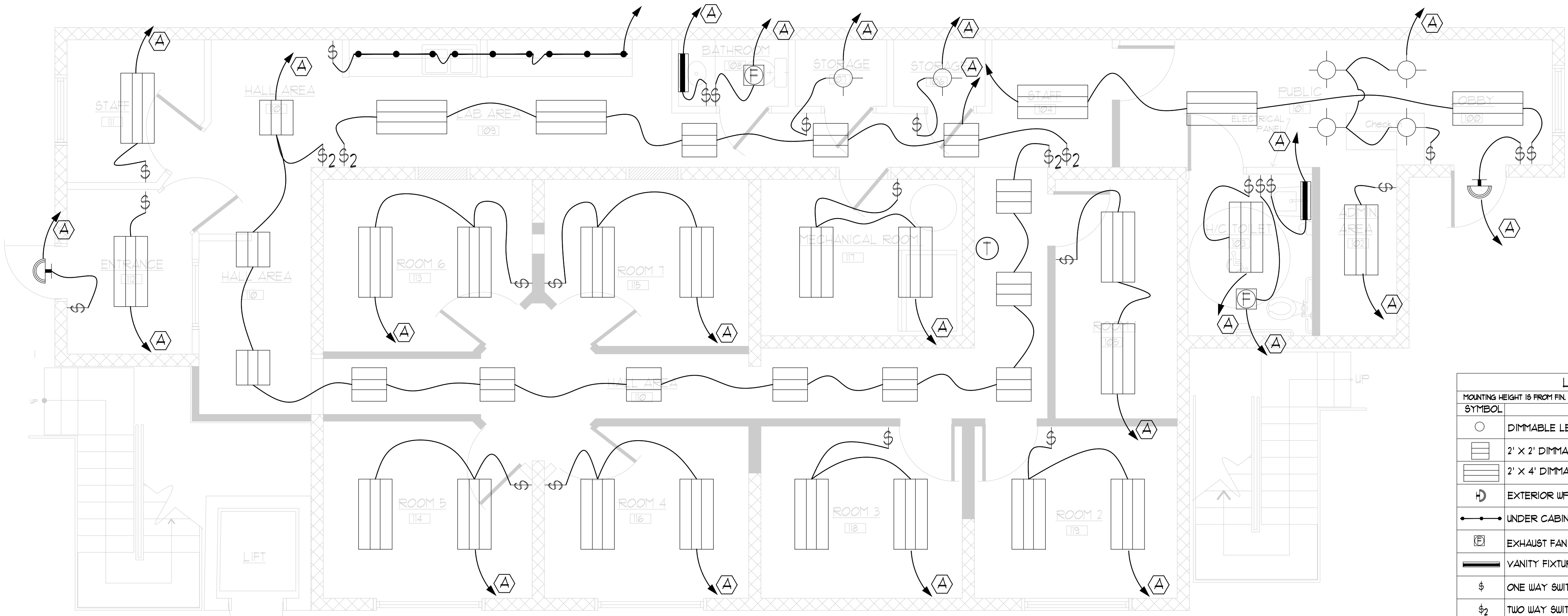


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FRAMING DETAILS

PROPOSED RENOVATION PLANS for JEFFERSON COUNTY COMMUNITY MINISTRIES 202 RACETRACK STREET CLINIC RANSON, WEST VIRGINIA

DRAWN: JKING
CHECKED: JKING
DATE: 01/15/2025
SCALE: AS NOTED
PROJECT NUMBER: 2025-01
JOB FILE NO.:
FILE NO.:
DRAWING NUMBER: A1.2

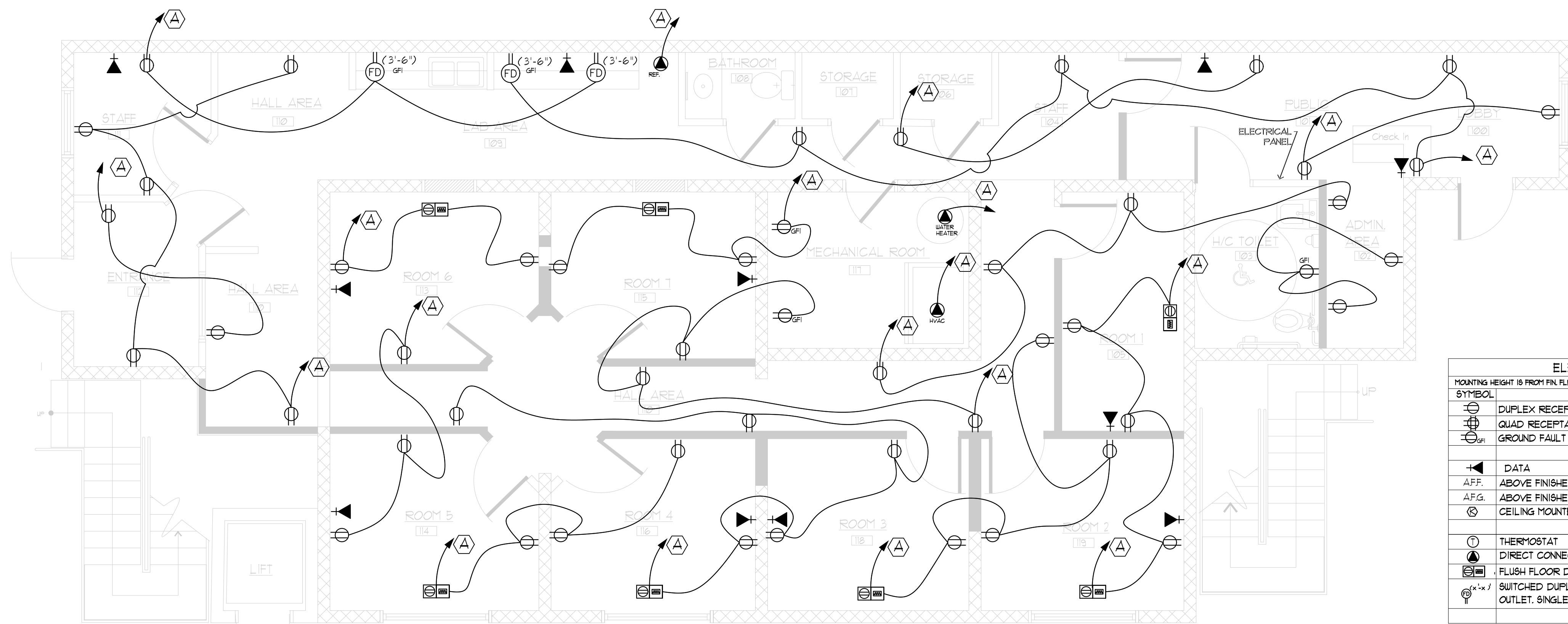


LIGHTING SYMBOL LEGEND

Mounting height is from FIN. FLR to 4' OF DEVICE OR OUTLET & MAY VARY TO CONCLUDE W/ CONSTRUCTION

SYMBOL	DESCRIPTION
○	DIMMABLE LED PAR 38 RECESSED DOWN LIGHT
□	2' X 2' DIMMABLE RECESSED/FLUSH MOUNT LED DIRECT LIGHT FIXTURE
▭	2' X 4' DIMMABLE RECESSED/FLUSH MOUNT LED DIRECT LIGHT FIXTURE
⬆	EXTERIOR UP LED FIXTURE
⬆	UNDER CABINET LIGHTING
⊞	EXHAUST FAN - LIGHT OPTIONAL
—	VANITY FIXTURE
⌘	ONE WAY SWITCH
⌘	TWO WAY SWITCH
⌘	SWITCH W/ OCCUPANCY SENSOR
⌘	SWITCH W/ DIMMER

1
E10
LIGHTING PLAN
Scale: 1/4" = 1'-0"



ELECTRICAL SYMBOL LEGEND

Mounting height is from FIN. FLR to 4' OF DEVICE OR OUTLET & MAY VARY TO CONCLUDE W/ CONSTRUCTION

SYMBOL	DESCRIPTION
⊞	DUPLEX RECEPTACLE OUTLET 18" AFF UNLESS OTHERWISE NOTED
⊞	QUAD RECEPTACLE OUTLET 18" AFF UNLESS OTHERWISE NOTED
⊞	GROUND FAULT CURRENT INTERRUPTER TYPE RECEPTACLE
⬆	DATA
AFF.	ABOVE FINISHED FLOOR
AF.G.	ABOVE FINISHED GRADE
⊞	CEILING MOUNTED SMOKE DETECTOR - HARDWIRED
⊞	THERMOSTAT
⊞	DIRECT CONNECT (HARDWIRED TO CIRCUIT)
⊞	FLUSH FLOOR DUPLEX RECEPTACLE W/ VOICE & DATA OUTLET, FLUSH CYR
⊞	SWITCHED DUPLEX OUTLET AT SPECIFIED HEIGHT AFF TO CENTER OF OUTLET. SINGLE POLE SWITCH ONLY.

NOTE:
OWNER'S OPTION TO HARD WIRE ONE LIGHT SWITCH AND ONE FAN SWITCH INSTEAD OF FAN/LIGHT NOTED FOR REMOTE OPERATION.

2
E10
POWER PLAN
Scale: 1/4" = 1'-0"

EQUIPMENT SCHEDULE

PANELS MAIN, ABP-A AND APB-B
 20" WIDE 208/120V/1PH/60HZ/4W PANELBOARD RATED FOR 240VAC AND HAVING 225A COPPER MAINS WITH A 225A/3P MAIN BREAKER. THE PANELBOARD SHALL BE UL LISTED FOR NON-LINEAR LOADS. THE MAIN PANEL BOARD SHALL HAVE 40/1P SPACES, APB-A TO HAVE 30 SPACES AND APB-B TO HAVE 20 SPACES. PROVIDE THE BREAKERS AS INDICATED WITHIN THE CIRCUIT SCHEDULE. THE PANELBOARDS SHALL BE EQUAL TO GE 'A SERIES', COORDINATE AVAILABLE INTERRUPTABLE CIRCUIT (AIC) RATING WITH THE LOCAL POWER COMPANY AND INSTALL ADEQUATE MAIN BREAKER. PANEL TO BE IN NEMA 1 ENCLOSURE.
 SAFETY SWITCHES
 HEAVY DUTY SAFETY SWITCHES RATED FOR 600VAC (NON-FUSIBLE) IN A NEMA 3R ENCLOSURE, SQUARE D OR EQUAL. SEE EQUIPMENT SCHEDULE FOR RATINGS & QUANTITIES.

NOTE:
PROVIDE 15% EXPANSION SPACE WITH ALL FACTORY ASSEMBLED PANELS.

GENERAL NOTES:

- 1) ALL CONDUCTORS SHALL BE COPPER AND INSULATION RATED FOR 75°C.
- 2) ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- 3) CIRCUITS, FIXTURES AND RUNS ARE SUGGESTED. ELECTRICAL CONTRACTOR TO DETERMINE LOADS, RUNS AND PANEL CONFIGURATION.

GENERAL POWER NOTES:

- 1) - CONTRACTOR AND OWNER TO COORDINATE ALL OUTLET HEIGHTS AND LOCATIONS TO ACCOMMODATE MILLWORK AND EQUIPMENT.
- 2) - PLACEMENT OF OUTLETS AND DATA PORTS TO BE CONFIRMED AND COORDINATED BY OWNER
- 3) - ALL EXISTING CIRCUITS SERVING EXISTING ROOFTOP UNITS TO BE REPLACED. COORDINATE WITH MECHANICAL CONTRACTOR

GENERAL LIGHTING NOTES:

- 1) - SHOULD CEILING CONDITIONS PREVENT EXECUTION F LIGHTING DESIGN AS SHOWN, COORDINATE ANY PROPOSED CHANGES WITH ARCHITECT AND OWNER BEFORE PROCEEDING.
- 2) - ALL LIGHTING SHALL MEET THE REQUIREMENTS IN THE SPECIFIC AREAS SHOWN. ANY CHANGES SHALL BE APPROVED BY THE OWNER BEFORE ORDERING AND/OR INSTALLING.

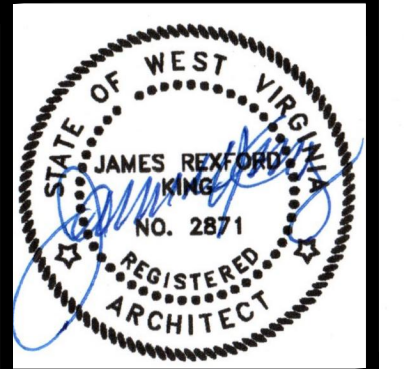
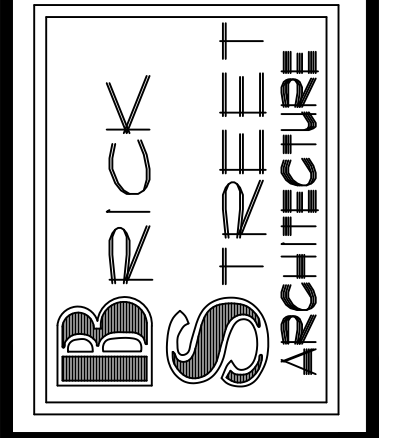
OTHER:

- 1) ELECTRICAL CONTRACTOR TO DETERMINE EXACT LOCATION OF PANELS
- 2) INSTALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION
- 3) NEW ACOUSTICAL TILE LAY-IN CEILING AND GRID TO BE RATED AS ONE HOUR IF RATED, FIRE RESISTANT ACT NOT USED, CONTRACTOR TO APPLY 2 LAYERS OF 5/8" TYPE X GIB TO BOTTOM OF TRUSSES AND SEAL ALL PENETRATIONS WITH FIRESTOPPING MATERIAL.
- 4) ALL EXISTING ELECTRICAL CIRCUITING TO BE REMOVED IN DEMOLITION STAGE. NEW WIRING AND CIRCUITING TO BE INSTALLED. EXCEPTION IF CONTRACTOR DEEMS EXISTING WORTHY OF PROPOSED CIRCUITING, AND EXISTING MEETS OR EXCEEDS PREVAILING ELECTRICAL CODES.
- 5) CONTRACTOR TO RECYCLE (IF POSSIBLE) OR PROPERLY DISPOSE OF ANY UNWANTED MATERIAL NOT USED IN BUILD OUT.

KEYED NOTES:

- ALL RUNS TO MAIN PANEL, CIRCUITING, METHOD AND CONFIGURATION TO BE DETERMINED BY ELECTRICAL CONTRACTOR
- FINAL PLACEMENT OF EXAM ROOM LIGHTING AND OUTLETS TO BE DETERMINED BY TENANT
- PLACEMENT AND TYPE OF THERMOSTAT TO BE DETERMINED BY MECHANICAL CONTRACTOR
- CEILING MOUNTED SMOKE DETECTOR TO BE HARD WIRED. LOCATION TO BE DETERMINED BY PREVAILING NFPA 101.
- DATA OUTLETS TO BE INSTALLED WHERE INDICATED. THESE WILL ALSO BE USED FOR VOIP TELECOMMUNICATIONS DEVICES. IF STANDARD PHONE SERVICE IS USED, INSTALL PHONE OUTLET AT EACH LOCATION
- FLOOR MOUNTED OUTLETS TO BE INSTALLED IN ALL EXAM ROOMS AND OTHER LOCATIONS INDICATED ON PLAN.

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**LIGHTING PLAN
POWER PLAN**

**PROPOSED RENOVATION PLANS
for
JEFFERSON COUNTY
COMMUNITY INDUSTRIES
202 RACETRACK STREET CLINIC
RANSON, WEST VIRGINIA**

DRAWN	CHECKED
J.KING	A8
DATE	SCALE
01/15/2025	AS NOTED
PROJECT NUMBER	
2025-01	
CAD FILE NO.	
FILE-NO.	
DRAWING NUMBER	
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